

## BASIX® commitments

Assessor	Mr. Daniel Warda
Date	21 / 03 / 25
BASIX Certificate No.	1788348M
NatHERS Certificate No.	0011801500

## Project details

Site Address	Lot 98, 44 Colin Street, Lakemba (Unit 1) NSW 2195
Municipality	Canterbury-Bankstown
Reference	7740

## Thermal Comfort

Floors	300mm Waffle pod slab
Ceiling Between Floors	R5.0 insulation to Garage ceiling joists
External Walls	R2.7 Insulation to all external walls (excl. Garage)   Medium
Internal Walls	R2.0 Insulation to Garage, Bath & WC 1 internal walls shared with conditioned areas
Ceilings	R7.0 Insulation to all trussed ceilings over living areas (Incl. Garage Ceiling Joists)
Roof	Colorbond   Medium
Roof Insulation	Sarking
Windows:	
Stegbar Sliding Door (Aluminium Framed - Double Glazed Argon-Filled Low-e Clear)	U-Value: 3.0 SHGC: 0.49
Stegbar Sliding Windows (Aluminium Framed - Double Glazed Argon-Filled Low-e Clear)	U-Value: 3.0 SHGC: 0.48
Stegbar Awning Windows (Aluminium Framed - Double Glazed Argon-Filled Low-e Clear)	U-Value: 3.4 SHGC: 0.44
Stegbar Sliding Windows (Aluminium Framed - Standard Clear Glazed)	U-Value: 6.3 SHGC: 0.73

\*Refer to NatHERs Certificate for location and dimensions of windows.

Skylights N/A

Water		Energy	
Landscape Area	193.7m <sup>2</sup>	Hot Water	Electric Heat Pump   26 to 30 STCs
W.C's	4 star	Air-Con (Heating)	1-Phase Ducted A/C   3.0 - 3.5
Kitchen Taps	4 star	Air-Con (Cooling)	1-Phase Ducted A/C   3.0 - 3.5
Shower Heads	4 star (> 6 but <= 7.5 L/min)	Ventilation	As Per Basix Assessment
Basin Taps	6 star	PV System	N/A
Alternative Water	3000L Rainwater Tank	Cooking	Gas Cooktop & Electric Oven
Roof Water to Tank	30m <sup>2</sup>	Drying	Outdoor Clothesline
Alt. Water Uses	Garden Tap, Laundry & WC	Lighting	Primarily LED

## BASIX® commitments

Assessor	Mr. Daniel Warda
Date	21 / 03 / 25
BASIX Certificate No.	1788348M
NatHERS Certificate No.	0011801500

## Project details

Site Address	Lot 98, 44 Colin Street, Lakemba (Unit 2) NSW 2195
Municipality	Canterbury-Bankstown
Reference	7740

## Thermal Comfort

Floors	300mm Waffle pod slab
Ceiling Between Floors	R5.0 insulation to Garage ceiling joists
External Walls	R2.7 Insulation to all external walls (excl. Garage)   Medium
Internal Walls	R2.0 Insulation to Garage, Bath & WC 1 internal walls shared with conditioned areas
Ceilings	R6.0 Insulation to all trussed ceilings over living areas (Incl. Garage Ceiling Joists)
Roof	Colorbond   Medium
Roof Insulation	Sarking

### Windows:

Stegbar Sliding Door (Aluminium Framed - Double Glazed Argon-Filled Low-e Clear)	U-Value: 3.0	SHGC: 0.49
Stegbar Sliding Windows (Aluminium Framed - Single Glazed Low-e Clear)	U-Value: 4.7	SHGC: 0.62
Stegbar Awning Windows (Aluminium Framed - Single Glazed Low-e Clear)	U-Value: 5.0	SHGC: 0.56
Stegbar Sliding Windows (Aluminium Framed - Standard Clear Glazed)	U-Value: 6.3	SHGC: 0.73
Stegbar Sliding Door (Aluminium Framed - Single Glazed Low-e Clear)	U-Value: 4.6	SHGC: 0.66

\*Refer to NatHERs Certificate for location and dimensions of windows.

Skylights N/A

Water		Energy	
Landscape Area	193.7m <sup>2</sup>	Hot Water	Electric Heat Pump   26 to 30 STCs
W.C's	4 star	Air-Con (Heating)	1-Phase Ducted A/C   3.0 - 3.5
Kitchen Taps	4 star	Air-Con (Cooling)	1-Phase Ducted A/C   3.0 - 3.5
Shower Heads	4 star (> 6 but <= 7.5 L/min)	Ventilation	As Per Basix Assessment
Basin Taps	6 star	PV System	N/A
Alternative Water	3000L Rainwater Tank	Cooking	Gas Cooktop & Electric Oven
Roof Water to Tank	30m <sup>2</sup>	Drying	Outdoor Clothesline
Alt. Water Uses	Garden Tap, Laundry & WC	Lighting	Primarily LED

# BASIX<sup>®</sup>Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Multi Dwelling

Certificate number: 1788348M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary

Date of issue: Friday, 21 March 2025

To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate 0011801500.

### Project summary

Project name	Lot 98, 44 Colin Street, Lakemba
Street address	44 COLIN STREET LAKEMBA 2195
Local Government Area	CANTERBURY-BANKSTOWN
Plan type and plan number	Deposited Plan 5654
Lot No.	98
Section no.	-
No. of residential flat buildings	0
Residential flat buildings: no. of dwellings	0
Multi-dwelling housing: no. of dwellings	2
No. of single dwelling houses	0

### Project score

Water	✓ 40	Target 40
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 73	Target 72
Materials	✓ -14	Target n/a

### Certificate Prepared by

Name / Company Name: Energi Thermal Assessors Pty Ltd

ABN (if applicable):

# Description of project

Project address	
Project name	Lot 98, 44 Colin Street, Lakemba
Street address	44 COLIN STREET LAKEMBA 2195
Local Government Area	CANTERBURY-BANKSTOWN
Plan type and plan number	Deposited Plan 5654
Lot No.	98
Section no.	-
Project type	
No. of residential flat buildings	0
Residential flat buildings: no. of dwellings	0
Multi-dwelling housing: no. of dwellings	2
No. of single dwelling houses	0
Site details	
Site area (m²)	741.7
Roof area (m²)	310
Non-residential floor area (m²)	-
Residential car spaces	2
Non-residential car spaces	-

Common area landscape		
Common area lawn (m²)	0	
Common area garden (m²)	0	
Area of indigenous or low water use species (m²)	0	
Assessor details and thermal loads		
Assessor number	101182	
Certificate number	0011801500	
Climate zone	56	
Project score		
Water	✓ 40	Target 40
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 73	Target 72
Materials	✓ -14	Target n/a



# Description of project

The tables below describe the dwellings and common areas within the project

## Multi-dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
1	4+	163.7	6	193.7	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
2	4+	163.7	6	193.7	0

**No common areas specified.**

# Schedule of BASIX commitments

## 1. Commitments for multi-dwelling housing

### (a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Performance and Materials

## 2. Commitments for common areas and central systems/facilities for the development (non-building specific)

### (b) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

### 1. Commitments for multi-dwelling housing

#### (a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		✓	✓
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 6 but ≤ 7.5 L/min)	4 star	4 star	6 star	-	-	-	-	-	-	-	-	-	-

	Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	Individual water tank (No. 1)	Tank size (min) 3000 liters	To collect run-off from at least: 30 square metres of roof area;	yes	yes	yes	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	heat pump - 26 to 30 STCs	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

	Cooling		Heating		Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bathrooms or toilets	Main kitchen
All dwellings	1-phase airconditioning - ducted / EER 3.0 - 3.5	1-phase airconditioning - ducted / EER 3.0 - 3.5	1-phase airconditioning - ducted / EER 3.0 - 3.5	1-phase airconditioning - ducted / EER 3.0 - 3.5	4	no

	Individual pool			Individual spa		Appliances other efficiency measures				
Dwelling no.	Pool heating system	Pool Pump	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Dishwasher	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	-	gas cooktop & electric oven	-	-	no	yes

	Alternative energy		
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)	Photovoltaic collector installation	Orientation inputs
All dwellings	-	-	-

(iii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must:	✓	✓	✓
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or			

(iii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.			
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✓		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✓	

	Thermal loads		
Dwelling no.	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
1	20.3	9.2	29.500



	Thermal loads		
Dwelling no.	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
All other dwellings	18.0	11.7	29.700

	Construction of floors and walls				
Dwelling no.	Concrete slab on ground (m <sup>2</sup> )	Suspended floor with open subfloor (m <sup>2</sup> )	Suspended floor with enclosed subfloor (m <sup>2</sup> )	Suspended floor above garage (m <sup>2</sup> )	Primarily rammed earth or mudbrick walls
All dwellings	93.4	-	-	17	no

	Floor types									
	Concrete slab on ground				Suspended floor above enclosed subfloor			Suspended floor above open subfloor		
Dwelling no.	Area (m <sup>2</sup> )	Insulation	Low emissions option	Dematerialisation	Construction type	Area (m <sup>2</sup> )	Insulation	Construction type	Area (m <sup>2</sup> )	Insulation
All dwellings	93.4	-	-	waffle pod slab	-	-	-	-	-	-

	Floor types										
	First floor above habitable rooms or mezzanine			Suspended floor above garage			Garage floor				
Dwelling no.	Construction type	Area (m <sup>2</sup> )	Insulation	Construction type	Area (m <sup>2</sup> )	Insulation	Construction type	Area (m <sup>2</sup> )	Insulation	Low emissions option	Dematerialisation
All dwellings	particle board, frame: timber - H2 treated softwood	71.3	-	particle board, frame: timber - H2 treated softwood	17	fibreglass batts or roll	concrete slab on ground	17	-	-	waffle pod slab

	External walls								
	External wall type 1				External wall type 2				
Dwelling no.	Wall type	Area (m <sup>2</sup> )	Insulation	Low emissions option	Wall type	Area (m <sup>2</sup> )	Insulation	Low emissions option	
All dwellings	brick veneer, frame : timber	41.6	fibreglass batts or roll	none	framed (fibre cement sheet or boards), frame :	44.3	fibreglass batts or roll	none	

	External walls							
	External wall type 1				External wall type 2			
Dwelling no.	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation	Low emissions option
	- H2 treated softwood				timber - H2 treated softwood			

	External walls							
	External wall type 3				External wall type 4			
Dwelling no.	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation	Low emissions option
All dwellings	-	-	-	-	-	-	-	-

	Internal walls								
	Internal walls shared with garage			Internal wall type 1			Internal wall type 2		
Dwelling no.	Wall type	Area (m²)	Insulation	Wall type	Area (m²)	Insulation	Wall type	Area (m²)	Insulation
All dwellings	plasterboard, frame: timber - H2 treated softwood	21.6	fibreglass batts or roll	plasterboard, frame: timber - H2 treated softwood	17.6	fibreglass batts or roll	plasterboard, frame: timber - H2 treated softwood	112.2	-

	Ceiling and roof								
	Flat ceiling / pitched roof			Raked ceiling / pitched or skillion roof			Flat ceiling / flat roof		
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation
All dwellings	framed - metal roof, frame: timber - H2 treated softwood	193.7	Ceiling: fibreglass batts or roll, Roof: foil/sarking	-	-	Ceiling:, Roof:	-	-	Ceiling:, Roof:

	Glazing type			Frame types				
Dwelling no.	Single glazing (m <sup>2</sup> )	Double glazing (m <sup>2</sup> )	Triple glazing (m <sup>2</sup> )	Aluminium frames (m <sup>2</sup> )	Timber frames (m <sup>2</sup> )	uPVC frames (m <sup>2</sup> )	Steel frames (m <sup>2</sup> )	Composite frames (m <sup>2</sup> )
1	1.8	35.5	-	37.3	-	-	-	-
All other dwellings	28.7	8.6	-	37.3	-	-	-	-

## 2. Commitments for common areas and central systems/facilities for the development (non-building specific)

### (b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Central energy systems	Type	Specification
Other	-	-

## Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

## Legend

1. Commitments identified with a "✔" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✔" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✔" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

# Nationwide House Energy Rating Scheme®

## Multiple Class 1 dwellings Summary

### NatHERS® Certificate No. 0011801500

Generated on 21 Mar 2025 using BERS Pro v5.2.4 (3.23)

#### Property

**Address** Colin Street,  
Lakemba , NSW , 2195

**Lot/DP** Lot 98 DP 5654

**NatHERS Climate Zone** 56 Mascot (Sydney Airport)



**Accredited assessor**

**Name** Daniel.Warda

**Business name** Energi Thermal Assessors Pty Ltd

**Email** daniel@energiassessments.com.au

**Phone** 0452504125

**Accreditation No.** 101182

**Assessor Accrediting Organisation**  
ABSA



#### Verification

To verify this certificate, scan the QR code or visit [hstar.com.au/QR/Generate?p=YpGdsWuYa](https://hstar.com.au/QR/Generate?p=YpGdsWuYa). When using either link, ensure you are visiting [hstar.com.au](https://hstar.com.au)



#### National Construction Code (NCC) requirements

The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J3D3 and J3D15 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ABCB Standards and support material, can be accessed at [www.abcb.gov.au](https://www.abcb.gov.au).

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.

#### Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) [MJ/m <sup>2</sup> /p.a.]	Cooling load (load limit) [MJ/m <sup>2</sup> /p.a.]	Total load [MJ/m <sup>2</sup> /p.a.]	Star Rating	Whole of Home Rating
<a href="#">0011801479</a>	1	20.3 (N/A)	9.2 (N/A)	29.6	7	0
<a href="#">0011801487</a>	2	18.0 (N/A)	11.7 (N/A)	29.7	7	0

## Explanatory notes

### About this ratings

Individual unit ratings are listed in the 'Summary of all dwellings' section of this Certificate.

NatHERS ratings use computer modelling to evaluate a home's energy efficiency and performance. They use localised climate data and standard assumptions on how people use their home to predict the energy loads and societal cost. The thermal performance star rating uses the home's building specifications, layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings) to predict the heating and cooling energy loads. The Whole of Home performance rating uses information about the home's appliances and onsite energy production and storage to estimate the homes societal cost .

For more details about an individual dwelling's assessment, refer to the individual dwelling's NatHERS Certificate (accessible via link).

### Accredited Assessors

For high quality NatHERS Certificates, always use an accredited or licenced assessor registered with an Assessor Accrediting Organisation (AAO). AAOs have strict quality assurance processes, and professional development requirements ensuring consistently high standards for assessments.

Non-accredited assessors (Raters) have no ongoing training requirements and are not quality assured.

Licensed assessors in the Australian Capital Territory (ACT) can produce assessments for regulatory purposes only, using endorsed software, as listed on the ACT licensing register.

Any queries about this report should be directed to the assessor. If the assessor is unable to address questions or concerns, contact the AAO specified on the front of this certificate.

### Disclaimer

The NatHERS Certificate format is developed by the NatHERS Administrator. However, the content in certificates is entered by the assessor. It is the assessor's responsibility to use NatHERS accredited software correctly and follow the NatHERS Technical Note to produce a NatHERS Certificate.

The predicted annual energy use, cost and greenhouse gas emissions in this NatHERS Certificate are an estimate based on an assessment of the dwelling's design by the assessor. It is not a prediction of actual energy use, cost or emissions. The information and ratings may be used to compare how other dwellings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, behaviour, appliance performance, indoor air temperature and local climate.

Not all assumptions made by the assessor while using the NatHERS accredited software tool are presented in this report and further details or data files may be available from the assessor.



# Nationwide House Energy Rating Scheme®

## NatHERS® Certificate No. 0011801479

Generated on 21 Mar 2025 using BERS Pro v5.2.4 (3.23)

### Property

**Address** Unit 1, Colin Street,  
Lakemba , NSW , 2195

**Lot/DP** Lot 98 DP 5654

**NCC class\*** 1a

**Floor/all Floors** G of 2 floors

**Type** New Home

### Plans

**Main plan** 7740

**Prepared by** Allcastle Homes - DI

### Construction and environment

<b>Assessed floor area [m2]*</b>	<b>Exposure type</b>
Conditioned* 163.7	Suburban
Unconditioned* 6.6	<b>NatHERS climate zone</b>
Total 186.9	56 Mascot (Sydney Airport)
Garage 16.6	



### Accredited assessor

**Name** Daniel Warda

**Business name** Energi Thermal Assessors Pty Ltd

**Email** daniel@energiassessments.com.au

**Phone** 0452504125

**Accreditation No.** 101182

**Assessor Accrediting Organisation** ABSA

**Declaration of interest** Declaration completed: no conflicts

### NCC Requirements

**NCC provisions** Volume Two

**State/Territory variation** Yes

### National Construction Code (NCC) requirements

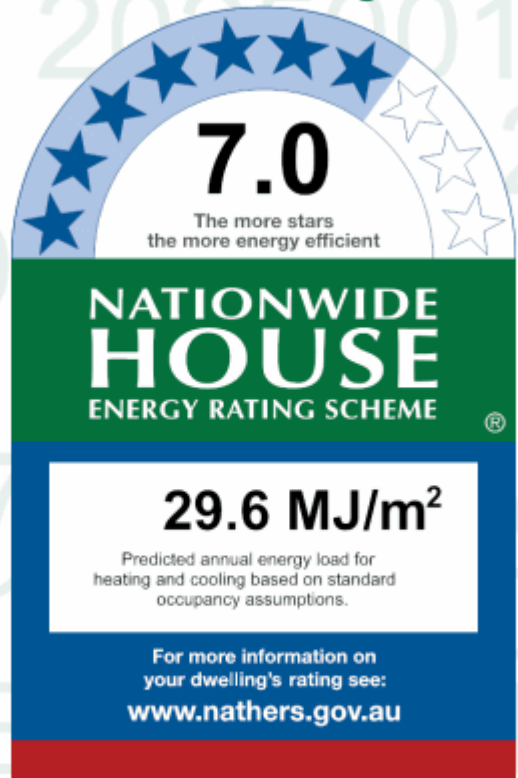
The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J3D3 and J3D15 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ABCB Standards and support material, can be accessed at [www.abcb.gov.au](http://www.abcb.gov.au).

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.

### Thermal performance Star rating



### Thermal performance [MJ/m²]

Limits taken from ABCB Standard 2022

	Heating	Cooling
Modelled	20.3	9.2
Load limits	N/A	N/A

### Features determining load limits

Floor Type (lowest conditioned area)	CSOG
NCC climate zone 1 or 2	No
Outdoor living area	No
Outdoor living area ceiling fan	No

### Whole of Home performance rating

No Whole of Home  
performance rating  
generated for this  
certificate.

### Verification

To verify this certificate, scan the QR code or visit [hstar.com.au/QR/Generate?p=sKpNqXtLh](http://hstar.com.au/QR/Generate?p=sKpNqXtLh). When using either link, ensure you are visiting [hstar.com.au](http://hstar.com.au)



## About the ratings

### Thermal performance rating

NatHERS thermal software models the expected heating and cooling energy loads using information about the design, construction, climate and common patterns of household use. The thermal performance rating (shown as a star rating on this Certificate) does not take into account appliances, apart from the airflow impacts from ceiling fans.

### Whole of Home performance rating

NatHERS Whole of Home software uses the heating and cooling energy loads combined with the energy performance of the home's appliances (heating, cooling, hot water, lighting, pool/spa pump and onsite renewable energy generation and storage) and models the expected energy value\* of the whole home. The Whole of Home performance rating is shown as a score out of 100 on this Certificate.

## Heating & Cooling Load Limits

### Additional information

In some locations under the NCC NatHERS pathway, separate heating and cooling load limits may apply. Minimum required star ratings in northern parts of Australia may also be affected by the presence or absence of an outdoor living area and/or an outdoor living area ceiling fan. Refer to the *ABCB Standard 2022: NatHERS heating and cooling load limits* for details or contact the relevant local building regulating authority, noting that State and Territory variations may also apply.

### Setting Options:

Floor Type:

CSOG – Concrete Slab on Ground  
SF – Suspended Floor (or a mixture of CSOG and SF)  
NA – Not Applicable

NCC Climate Zone 1 or 2:

Yes  
No  
NA – Not Applicable

Outdoor Living Area:

Yes  
No  
NA – Not Applicable

Outdoor Living Area Ceiling Fan:

Yes  
No  
NA – Not Applicable



## Predicted onsite renewable energy impact

No Whole of Home performance assessment conducted for this certificate.

## Predicted Whole of Home annual impact by appliance

### Energy use

No Whole of Home performance assessment conducted for this certificate

### Greenhouse gas emissions

No Whole of Home performance assessment conducted for this certificate

### Cost

No Whole of Home performance assessment conducted for this certificate

## Certificate check

The checklist covers important items impacting the dwelling's ratings. It is recommended that the accuracy of the whole certificate is checked.

Note: The boxes indicate when and by whom each item should be checked. It is not mandatory to complete this checklist.

	Approval Stage		Construction Stage		Occupancy/Other
	Assessor checked	Consent Authority/ Surveyor checked	Builder checked	Consent Authority Surveyor checked	
<b>Genuine certificate check</b>					
Does this Certificate match the one available at the web address or QR code verification link on the front page?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the NatHERS certificate number on the NatHERS-stamped plans match the number on this Certificate?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Thermal performance check</b>					
<b>Windows and glazed doors</b>					
Does the window size, opening type and location shown on the NatHERS-stamped plans or as installed match what is shown in 'Window and glazed door schedule' and 'Roof window schedule' tables on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the installed windows meet the substitution tolerances (AFRC* based SHGC* and U-values*) as shown in the 'Window and glazed door type and performance' and 'Roof window type and performance' tables on this Certificate?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>External walls</b>					
Does the external wall bulk insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the External wall type table on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the external wall shade (colour) match what is shown in the 'External wall type' table on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Floor</b>					
Does the floor insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Floor type' table on this certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Ceiling penetrations*</b>					
Does the 'quantity' and 'type' of ceiling penetrations* (e.g. downlights, exhaust fans, etc) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Ceiling penetrations' table on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Ceiling</b>					
Does the ceiling insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Ceiling type' table on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Roof</b>					
Does the external roof shade (colour) on the NatHERS stamped plans or as installed match what is shown in the 'Roof type' table on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Apartment entrance doors (NCC Class 2 assessments only)</b>					
Does the 'External Door Schedule' show apartment entrance doors? Please note that an "external door" between the modelled dwelling and a shared space, such as an enclosed corridor or foyer, should not be included in the assessment (because it overstates the possible ventilation) and would invalidate the Certificate.	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<b>Exposure*</b>					
Has the appropriate exposure type (terrain) (shown on page 1) been applied? For example, it is unlikely that a ground-floor apartment is "exposed" or a top floor high-rise apartment is "protected".	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<b>Heating and cooling load limits*</b>					
Do the load limits settings (shown on page 1) match what is shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



## Certificate check

Continued

	Approval Stage		Construction Stage		
	Assessor checked	Consent Authority/ Surveyor checked	Builder checked	Consent Authority Surveyor checked	Occupancy/Other

### Additional NCC requirements for thermal performance (not included in the NatHERS assessment)

#### Thermal bridging

Does the dwelling meet the NCC requirement for thermal bridging?

☐ ☐ ☐ ☐

#### Insulation installation method

Has the insulation been installed according to the NCC requirements?

☐ ☐ ☐

#### Building sealing

Does the dwelling meet the NCC requirements for Building Sealing?

☐ ☐ ☐ ☐

### Whole of Home performance check (not applicable if a Whole of Home performance assessment is not conducted)

#### Appliances

Does the cooling appliance/s type, location and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the Appliance schedule on this Certificate?

☐ ☐ ☐ ☐ ☐

Does the heating appliance/s type, location and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?

☐ ☐ ☐ ☐ ☐

Does the hot water system type and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?

☐ ☐ ☐ ☐ ☐

Does the pool pump efficiency/performance shown on the NatHERS-stamped plans or as installed match the minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?

☐ ☐ ☐ ☐ ☐

Does the onsite renewable energy system type, orientation and system size or generation capacity shown on the NatHERS stamped plans or installed match the 'Onsite Renewable Energy schedule' on this Certificate?

☐ ☐ ☐ ☐ ☐

### Additional NCC Requirements for Services (not included in the NatHERS assessment)

Does the lighting meet the artificial lighting requirements specified in the NCC?

☐ ☐ ☐ ☐

Does the hot water system meet the additional requirements specified in the NCC?

☐ ☐ ☐ ☐

#### Provisional values\* check

Have provisional values\* been used in the assessment and, if so, are they noted in 'Additional notes' table below?

☐ ☐ ☐ ☐

#### Other NCC requirements

Note: This Certificate only covers the energy efficiency requirements in the NCC. Additional requirements that must also be satisfied include, but are not limited to: condensation, structural and fire safety requirements and any state or territory variations to the NCC energy efficiency requirements.

#### Additional notes

Rev B



## Room schedule

Room	Zone Type	Area [m <sup>2</sup> ]
Kitchen/Living	Kitchen/Living	44.86
WC 2	Daytime	2.44
LDRY	Daytime	3.23
Home Office	Bedroom	10.51
PDR	Nighttime	4.27
Garage	Garage	16.59
Study	Daytime	10.57
Hall/Stairs	Daytime	15.39
Bedroom 1	Bedroom	20.98
EN	Nighttime	5.55
Bath	Unconditioned	4.86
WC 1	Unconditioned	1.73
Bedroom 2	Bedroom	10.22
Bedroom 3	Bedroom	10
Bedroom 4	Bedroom	10.03
Study Nook	Daytime	22.61

## Window and glazed door type and performance

### Default windows\*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

### Custom windows\*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
STG-004-031	Aluminium Sliding Door DG 4Clr/10Ar/4Pb	3.0	0.49	0.46	0.51
STG-066-014	Aluminium Sliding Window DG 4Clr/12Ar/4Pb	3.0	0.48	0.46	0.51
STG-007-001	Aluminium Sliding Window SG 3Clr	6.3	0.73	0.69	0.77
STG-068-014	Aluminium Awning Window DG 4Clr/12Ar/4Pb	3.4	0.44	0.42	0.47

\* Refer to glossary.



## Window and glazed door *schedule*

Location	Window ID	Window no.	Height [mm]	Width [mm]	Window type	Opening %	Orientation	Window shading device*
Kitchen/Living	STG-004-031-001	W6	2400	3598	Sliding	45	W	No
Kitchen/Living	STG-066-014-001	W4	2000	2400	Sliding	30	S	No
Kitchen/Living	STG-066-014-001	W5	700	2700	Sliding	45	S	No
Home Office	STG-066-014-001	W3	2000	1500	Sliding	30	S	No
PDR	STG-007-001-001	W2	343	1200	Sliding	45	S	No
Study	STG-068-014-001	W16	2100	1000	Awning	90	E	No
Bedroom 1	STG-066-014-001	W14	900	2600	Sliding	45	W	No
Bedroom 1	STG-066-014-001	W13	700	2100	Sliding	45	S	No
EN	STG-007-001-001	W15	400	700	Sliding	45	W	No
Bath	STG-007-001-001	W12	900	600	Sliding	45	S	No
WC 1	STG-007-001-001	W11	900	600	Sliding	45	S	No
Bedroom 2	STG-066-014-001	W10	1200	1400	Sliding	45	S	No
Bedroom 3	STG-004-031-001	W8	2000	2100	Sliding	45	E	No
Bedroom 3	STG-066-014-001	W9	700	1800	Sliding	45	S	No
Bedroom 4	STG-068-014-001	W7	1800	2355	Awning	60	E	No

## Roof window\* *type and performance value*

### Default roof windows\*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

### Custom roof windows\*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

## Roof window\* *schedule*

Location	Window ID	Window no.	Opening %	Height [mm]	Width [mm]	Orientation	Outdoor shade	Indoor shade
No Data Available								



## Skylight\* type and performance

Skylight ID	Skylight description	Skylight shaft reflectance
No Data Available		

## Skylight\* schedule

Location	Skylight ID	Skylight No.	Skylight shaft length [mm]	Area [m <sup>2</sup> ]	Orientation	Outdoor shade	Diffuser
No Data Available							

## External door schedule

Location	Height [mm]	Width [mm]	Opening %	Orientation
Garage	2400	2350	90	E
Study	2340	1020	90	E
Bedroom 4	2040	720	90	S

## External wall type

Wall ID	Wall type	Solar absorptance	Wall shade [colour]	Bulk insulation [R-value]	Reflective wall wrap*
EW-1	Timber Stud Frame Brick Veneer	0.50		Bulk Insulation, Air Gap R2.7	No
EW-2	Single Skin Brick	0.50		No insulation	No
EW-3	Fibro Timber Stud Frame Panel Direct Fix	0.50		Bulk Insulation, Air Gap R2.7	No

## External wall schedule

Location	Wall ID	Height [mm]	Width [mm]	Orientation	Horizontal shading feature* maximum projection [mm]	Vertical shading feature [yes/no]
Kitchen/Living	EW-1	2740	6100	W	4100	Yes
Kitchen/Living	EW-1	2740	6895	S	600	No
Home Office	EW-1	2740	3590	S	100	No
PDR	EW-1	2740	1590	S	100	No
Garage	EW-2	3254	3095	E	1400	No
Garage	EW-2	3254	5495	S	100	No
Study	EW-1	2740	3000	E	1100	Yes
Study	EW-1	2740	1000	S	3200	No
Bedroom 1	EW-3	2440	4195	W	600	No



Location	Wall ID	Height [mm]	Width [mm]	Orientation	Horizontal shading feature* maximum projection [mm]	Vertical shading feature [yes/no]
Bedroom 1	EW-3	2440	4095	S	600	No
EN	EW-3	2440	1895	W	600	No
Bath	EW-3	2440	1990	S	600	No
WC 1	EW-3	2440	1190	S	600	No
Bedroom 2	EW-3	2440	3090	S	600	No
Bedroom 3	EW-3	2440	3095	E	1200	No
Bedroom 3	EW-3	2440	3595	S	600	No
Bedroom 4	EW-1	2440	3000	E	200	No
Bedroom 4	EW-1	2440	1000	S	3700	No

## Internal wall type

Wall ID	Wall type	Area [m <sup>2</sup> ]	Bulk insulation
IW-001	Shaft liner party wall with plaster	64.55	Bulk Insulation both sides of shaft liner R2
IW-002	Timber Stud Frame, Direct Fix Plasterboard	128.53	No insulation
IW-003	Timber Stud Frame, Direct Fix Plasterboard	36.94	Bulk Insulation, No Air Gap R2

## Floor type

Location	Construction	Area [m <sup>2</sup> ]	Sub-floor ventilation	Added insulation [R-value]	Covering
Kitchen/Living	Waffle pod slab 300 mm 100mm	44.86	None	Waffle Pod 300mm	Cork Tiles or Parquetry 8mm
WC 2	Waffle pod slab 300 mm 100mm	2.44	None	Waffle Pod 300mm	Ceramic Tiles 8mm
LDRY	Waffle pod slab 300 mm 100mm	3.23	None	Waffle Pod 300mm	Ceramic Tiles 8mm
Home Office	Waffle pod slab 300 mm 100mm	10.51	None	Waffle Pod 300mm	Cork Tiles or Parquetry 8mm
PDR	Waffle pod slab 300 mm 100mm	4.27	None	Waffle Pod 300mm	Ceramic Tiles 8mm
Garage	Waffle pod slab 300 mm 100mm	16.59	None	Waffle Pod 300mm	Bare
Study	Waffle pod slab 300 mm 100mm	10.57	None	Waffle Pod 300mm	Cork Tiles or Parquetry 8mm
Hall/Stairs	Waffle pod slab 300 mm 100mm	15.39	None	Waffle Pod 300mm	Cork Tiles or Parquetry 8mm
Bedroom 1 / Kitchen/Living	Timber Framed Timber Above Plasterboard 19mm	16.80		No Insulation	Carpet 10mm





Location	Construction	Area [m <sup>2</sup> ]	Sub-floor ventilation	Added insulation [R-value]	Covering
Bedroom 1 / Home Office	Timber Framed Timber Above Plasterboard 19mm	2.21		No Insulation	Carpet 10mm
Bedroom 1 / Hall/Stairs	Timber Framed Timber Above Plasterboard 19mm	1.11		No Insulation	Carpet 10mm
EN / Kitchen/Living	Timber Framed Timber Above Plasterboard 19mm	5.55		No Insulation	Ceramic Tiles 8mm
Bath / Home Office	Timber Framed Timber Above Plasterboard 19mm	4.86		No Insulation	Ceramic Tiles 8mm
WC 1 / Home Office	Timber Framed Timber Above Plasterboard 19mm	1.08		No Insulation	Ceramic Tiles 8mm
WC 1 / PDR	Timber Framed Timber Above Plasterboard 19mm	0.45		No Insulation	Ceramic Tiles 8mm
Bedroom 2 / PDR	Timber Framed Timber Above Plasterboard 19mm	3.01		No Insulation	Carpet 10mm
Bedroom 2 / Garage	Timber Framed Timber Above Plasterboard 19mm	6.49		Bulk Insulation R5	Carpet 10mm
Bedroom 3 / Garage	Timber Framed Timber Above Plasterboard 19mm	10.00		Bulk Insulation R5	Carpet 10mm
Bedroom 4 / Study	Timber Framed Timber Above Plasterboard 19mm	10.03		No Insulation	Carpet 10mm
Study Nook / WC 2	Timber Framed Timber Above Plasterboard 19mm	0.00		No Insulation	Cork Tiles or Parquetry 8mm
Study Nook / LDRY	Timber Framed Timber Above Plasterboard 19mm	0.00		No Insulation	Cork Tiles or Parquetry 8mm
Study Nook / Home Office	Timber Framed Timber Above Plasterboard 19mm	0.00		No Insulation	Cork Tiles or Parquetry 8mm
Study Nook / PDR	Timber Framed Timber Above Plasterboard 19mm	0.00		No Insulation	Cork Tiles or Parquetry 8mm
Study Nook / Study	Timber Framed Timber Above Plasterboard 19mm	0.00		No Insulation	Cork Tiles or Parquetry 8mm
Study Nook / Hall/Stairs	Timber Framed Timber Above Plasterboard 19mm	6.57		No Insulation	Cork Tiles or Parquetry 8mm

## Ceiling type

Location	Construction material/type	Bulk insulation R-value (may include edge batt values)	Reflective wrap* [yes/no]
Kitchen/Living	Plasterboard on Timber	Bulk Insulation R7	
Kitchen/Living	Timber Framed Timber Above Plasterboard	No Insulation	
WC 2	Timber Framed Timber Above Plasterboard	No Insulation	
LDRY	Timber Framed Timber Above Plasterboard	No Insulation	
Home Office	Timber Framed Timber Above Plasterboard	No Insulation	



Location	Construction material/type	Bulk insulation R-value (may include edge batt values)	Reflective wrap* [yes/no]
PDR	Timber Framed Timber Above Plasterboard	No Insulation	
Garage	Timber Framed Timber Above Plasterboard	Bulk Insulation R5	
Study	Timber Framed Timber Above Plasterboard	No Insulation	
Hall/Stairs	Timber Framed Timber Above Plasterboard	No Insulation	
Bedroom 1	Plasterboard on Timber	Bulk Insulation R7	
EN	Plasterboard on Timber	Bulk Insulation R7	
Bath	Plasterboard on Timber	Bulk Insulation R7	
WC 1	Plasterboard on Timber	Bulk Insulation R7	
Bedroom 2	Plasterboard on Timber	Bulk Insulation R7	
Bedroom 3	Plasterboard on Timber	Bulk Insulation R7	
Bedroom 4	Plasterboard on Timber	Bulk Insulation R7	
Study Nook	Plasterboard on Timber	Bulk Insulation R7	

### Ceiling penetrations\*

Location	Quantity	Type	Diameter [mm]	Sealed/unsealed
Kitchen/Living	11	Downlights - LED	150	Sealed
Kitchen/Living	1	Exhaust Fans	300	Sealed
WC 2	1	Exhaust Fans	300	Sealed
LDRY	1	Exhaust Fans	300	Sealed
Home Office	2	Downlights - LED	150	Sealed
Study	2	Downlights - LED	150	Sealed
Hall/Stairs	4	Downlights - LED	150	Sealed
Bedroom 1	5	Downlights - LED	150	Sealed
Bedroom 2	2	Downlights - LED	150	Sealed
Bedroom 3	2	Downlights - LED	150	Sealed
Bedroom 4	2	Downlights - LED	150	Sealed
Study Nook	5	Downlights - LED	150	Sealed

### Ceiling fans

Location	Quantity	Diameter [mm]
No Data Available		



## Roof type

Construction	Added insulation [R-value]	Solar absorptance	Roof shade [colour]
Corrugated Iron Timber Frame	Foil, Gap Above, Reflective Side Down, Anti-glare Up	0.50	Medium

## Thermal bridging *schedule for steel frame elements*

Building element	Steel section dimensions [height x width, mm]	Frame spacing [mm]	Steel thickness [BMT,mm]	Thermal break [R-value]
No Data Available				

## Appliance *schedule*

(not applicable if a Whole of Home performance assessment is not conducted for this certificate)

Note: A flat assumption of 5W/m<sup>2</sup> is used for lighting, therefore lighting is not included in the appliance schedule.

### Cooling system

Appliance/ system type	Location	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Data Available				

### Heating system

Appliance/ system type	Location	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Data Available				

### Hot water system

Appliance/ system type	Fuel type	Hot Water CER Zone	Minimum efficiency /STC	Zone 3 STC	Zone 3 Substitution tolerance ranges		Assessed daily load [litres]
					lower limit	upper limit	
No Data Available							

### Pool/spa equipment

Appliance/ system type	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Data Available			



## Onsite Renewable Energy Schedule

System Type	Orientation	System Size Or Generation Capacity
No Data Available		

## Battery Schedule

System Type	Size [Battery Storage Capacity]
No Data Available	



## Explanatory notes

### About this report

NatHERS ratings are a reliable guide for comparing different dwelling designs and to demonstrate that designs meet the energy efficiency requirements in the National Construction Code.

NatHERS ratings use computer modelling to evaluate a home's energy efficiency and performance. They use localised climate data and standard assumptions on how people use their home to predict the heating and cooling energy loads and energy value\* of the whole home. The thermal performance star rating uses the home's building specifications, layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings) to predict the heating and cooling energy loads. The Whole of Home performance rating uses information about the home's appliances and onsite energy generation and storage to estimate the home's energy value\*.

The actual energy loads, cost and greenhouse gas emissions of a home may vary from that predicted. This is because the assumptions will not always match the actual occupant usage patterns. For example, the number of occupants and how people use their appliances will vary.

Energy efficient homes use less energy, are warmer on cool days, cooler on hot days and cost less to run.

### Accredited assessors

For quality assured NatHERS Certificates, always use an accredited or licenced assessor registered with an Assessor Accrediting Organisation (AAO). AAOs have strict quality assurance processes, and professional development requirements ensuring consistently high standards for assessments.

Non-accredited assessors (Raters) have no ongoing training requirements and

are not quality assured.

Any queries about this report should be directed to the assessor. If the assessor is unable to address questions or concerns, contact the AAO specified on the front of this certificate.

### Disclaimer

The NatHERS Certificate format is developed by the NatHERS Administrator. However, the content in the certificate is entered by the assessor. It is the assessor's responsibility to use NatHERS accredited software correctly and follow the NatHERS Technical Note to produce a NatHERS Certificate.

The predicted annual energy load, cost and greenhouse gas emissions in this NatHERS Certificate are an estimate based on an assessment of the dwelling's design by the assessor. It is not a prediction of actual energy use, cost or emissions. The information and ratings may be used to compare how other dwellings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, behaviour, appliance performance, indoor air temperature and local climate.

Not all assumptions made by the assessor using the NatHERS accredited software tool are presented in this report and further details or data files may be obtained from the assessor.

## Glossary

<b>AFRC</b>	Australian Fenestration Rating Council
<b>Annual energy load</b>	the predicted amount of energy required for heating and cooling, based on standard occupancy assumptions.
<b>Assessed floor area</b>	the floor area modelled in the software for the purpose of the NatHERS assessment. Note, this may not be consistent with the floor area in the design documents.
<b>Ceiling penetrations</b>	features that require a penetration to the ceiling, including downlights, vents, exhaust fans, range hoods, chimneys and flues. Excludes fixtures attached to the ceiling with small holes through the ceiling for wiring, e.g. ceiling fans; pendant lights, and heating and cooling ducts.
<b>COP</b>	Coefficient of performance
<b>Conditioned</b>	a zone within a dwelling that is expected to require heating and cooling based on standard occupancy assumptions. In some circumstances it will include garages.
<b>Custom windows</b>	windows listed in NatHERS software that are available on the market in Australia and have a WERS (Window Energy Rating Scheme) rating.
<b>Default windows</b>	windows that are representative of a specific type of window product and whose properties have been derived by statistical methods.
<b>EER</b>	Energy Efficiency Ratio, measure of how much cooling can be achieved by an air conditioner for a single kWh of electricity input
<b>Energy use</b>	This is your home's rating without solar or batteries.
<b>Energy value</b>	The net cost to society including, but not limited to, costs to the building user, the environment and energy networks (as defined in the ABCB Housing Provisions Standard).
<b>Entrance door</b>	these signify ventilation benefits in the modelling software and must not be modelled as a door when opening to a minimally ventilated corridor in a Class 2 building.
<b>Exposure</b>	see exposure categories below.
<b>Exposure category – exposed</b>	terrain with no obstructions e.g. flat grazing land, ocean-frontage, desert, exposed high-rise unit (usually above 10 floors).
<b>Exposure category – open</b>	terrain with few obstructions at a similar height e.g. grasslands with few well scattered obstructions below 10m, farmland with scattered sheds, lightly vegetated bush blocks, elevated units (e.g. above 3 floors).
<b>Exposure category – protected</b>	terrain with numerous, closely spaced obstructions below 10m e.g. suburban housing, heavily vegetated bushland areas.
<b>Exposure category – suburban</b>	terrain with numerous, closely spaced obstructions over 10 m e.g. city and industrial areas.
<b>Horizontal shading feature</b>	provides shading to the building in the horizontal plane, e.g. eaves, verandahs, pergolas, carports, or overhangs or balconies from upper levels.
<b>National Construction Code (NCC) Class</b>	the NCC groups buildings by their function and use, and assigns a classification code. NatHERS software models NCC Class 1, 2 or 4 buildings and attached Class 10a buildings. Definitions can be found at <a href="http://www.abcb.gov.au">www.abcb.gov.au</a> .
<b>Net zero home</b>	a home that achieves a net zero energy value*.
<b>Opening percentage</b>	the operability percentage or operable (moveable) area of doors or windows that is used in ventilation calculations.
<b>Provisional value</b>	an assumed value that does not represent an actual value. For example, if the wall colour is unspecified in the documentation, a provisional value of 'medium' must be modelled. Acceptable provisional values are outlined in the NatHERS Technical Note and can be found at <a href="http://www.nathers.gov.au">www.nathers.gov.au</a>
<b>Recommended capacity</b>	this is the capacity or size of equipment that is recommended by NatHERS to achieve the desired comfort conditions in the zone or zones serviced. This is a recommendation and the final selection sizing should be confirmed by a suitably qualified person.
<b>Reflective wrap</b> (also known as foil)	can be applied to walls, roofs and ceilings. When combined with an appropriate airgap and emissivity value, it provides insulative properties.
<b>Roof window</b>	for NatHERS this is typically an operable window (i.e. can be opened), will have a plaster or similar light well if there is an attic space, and generally does not have a diffuser.
<b>Shading features</b>	includes neighbouring buildings, fences, and wing walls, but excludes eaves.
<b>Skylight</b> (also known as roof lights)	for NatHERS this is typically a moulded unit with flexible reflective tubing (light well) and a diffuser at ceiling level.
<b>Solar heat gain coefficient (SHGC)</b>	the fraction of incident solar radiation admitted through a window, both directly transmitted as well as absorbed and subsequently released inward. SHGC is expressed as a number between 0 and 1. The lower a window's SHGC, the less solar heat it transmits.
<b>STCs</b>	Small-scale Technology Certificates, certificates created by the REC registry for renewable energy technologies that may be bought and sold as part of the Small-scale Renewable Energy Scheme operated by the Clean Energy Regulator (CER)
<b>Thermal breaks</b>	are materials with an R-value greater than or equal to 0.2 that must separate the metal frame from the cladding. This includes, but is not limited to, materials such as timber battens greater than or equal to 20mm thick or continuous thermal breaks such as polystyrene insulation sheathing or plastic strips
<b>U-value</b>	the rate of heat transfer through a window. The lower the U-value, the better the insulating ability.
<b>Unconditioned</b>	a zone within a dwelling that is assumed to not require heating and cooling based on standard occupancy assumptions.
<b>Vertical shading features</b>	provides shading to the building in the vertical plane and can be parallel or perpendicular to the subject wall/window. Includes privacy screens, other walls in the building (wing walls), fences, other buildings, vegetation (protected or listed heritage trees).
<b>Window shading device</b>	device fixed to windows that provides shading e.g. window awnings or screens but excludes horizontal* or vertical shading features* (eg eaves and balconies)

\* Refer to glossary.

# Nationwide House Energy Rating Scheme®

## NatHERS® Certificate No. 0011801487

Generated on 21 Mar 2025 using BERS Pro v5.2.4 (3.23)

### Property

**Address** Unit 2, Colin Street,  
Lakemba , NSW , 2195

**Lot/DP** Lot 98 DP 5654

**NCC class\*** 1a

**Floor/all Floors** G of 2 floors

**Type** New Home

### Plans

**Main plan** 7740

**Prepared by** Allcastle Homes - DI

### Construction and environment

<b>Assessed floor area [m2]*</b>	<b>Exposure type</b>
Conditioned* 163.7	Suburban
Unconditioned* 6.6	<b>NatHERS climate zone</b>
Total 186.9	56 Mascot (Sydney Airport)
Garage 16.6	



### Accredited assessor

**Name** Daniel Warda

**Business name** Energi Thermal Assessors Pty Ltd

**Email** daniel@energiassessments.com.au

**Phone** 0452504125

**Accreditation No.** 101182

**Assessor Accrediting Organisation** ABSA

**Declaration of interest** Declaration completed: no conflicts

### NCC Requirements

**NCC provisions** Volume Two

**State/Territory variation** Yes

### National Construction Code (NCC) requirements

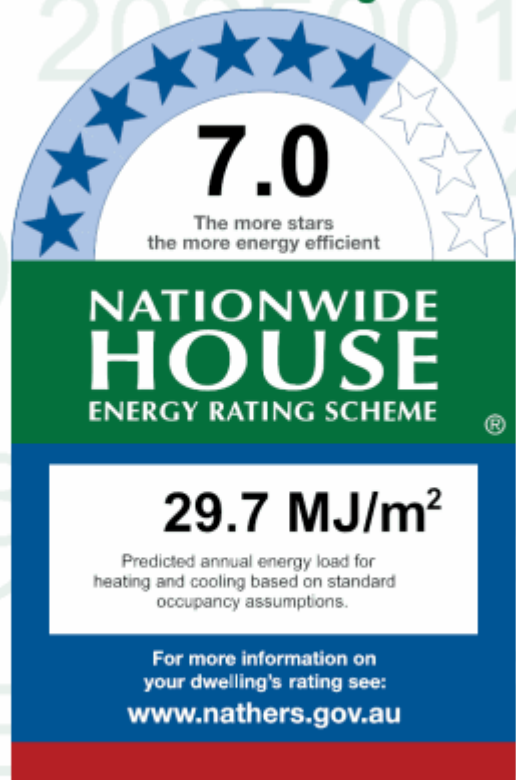
The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J3D3 and J3D15 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ABCB Standards and support material, can be accessed at [www.abcb.gov.au](http://www.abcb.gov.au).

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.

### Thermal performance Star rating



### Thermal performance [MJ/m²]

Limits taken from ABCB Standard 2022

	Heating	Cooling
Modelled	18.0	11.7
Load limits	N/A	N/A

### Features determining load limits

Floor Type (lowest conditioned area)	CSOG
NCC climate zone 1 or 2	No
Outdoor living area	No
Outdoor living area ceiling fan	No

### Whole of Home performance rating

No Whole of Home  
performance rating  
generated for this  
certificate.

### Verification

To verify this certificate,  
scan the QR code or visit  
[hstar.com.au/QR/Generate?](http://hstar.com.au/QR/Generate?p=QvECTdWka)  
[p=QvECTdWka](http://hstar.com.au/QR/Generate?p=QvECTdWka).  
When using either link,  
ensure you are visiting  
[hstar.com.au](http://hstar.com.au)





## About the ratings

### Thermal performance rating

NatHERS thermal software models the expected heating and cooling energy loads using information about the design, construction, climate and common patterns of household use. The thermal performance rating (shown as a star rating on this Certificate) does not take into account appliances, apart from the airflow impacts from ceiling fans.

### Whole of Home performance rating

NatHERS Whole of Home software uses the heating and cooling energy loads combined with the energy performance of the home's appliances (heating, cooling, hot water, lighting, pool/spa pump and onsite renewable energy generation and storage) and models the expected energy value\* of the whole home. The Whole of Home performance rating is shown as a score out of 100 on this Certificate.

## Heating & Cooling Load Limits

### Additional information

In some locations under the NCC NatHERS pathway, separate heating and cooling load limits may apply. Minimum required star ratings in northern parts of Australia may also be affected by the presence or absence of an outdoor living area and/or an outdoor living area ceiling fan. Refer to the *ABC Standard 2022: NatHERS heating and cooling load limits* for details or contact the relevant local building regulating authority, noting that State and Territory variations may also apply.

### Setting Options:

Floor Type:

CSOG – Concrete Slab on Ground  
SF – Suspended Floor (or a mixture of CSOG and SF)  
NA – Not Applicable

NCC Climate Zone 1 or 2:

Yes  
No  
NA – Not Applicable

Outdoor Living Area:

Yes  
No  
NA – Not Applicable

Outdoor Living Area Ceiling Fan:

Yes  
No  
NA – Not Applicable



## Predicted onsite renewable energy impact

No Whole of Home performance assessment conducted for this certificate.

## Predicted Whole of Home annual impact by appliance

### Energy use

No Whole of Home performance assessment conducted for this certificate

### Greenhouse gas emissions

No Whole of Home performance assessment conducted for this certificate

### Cost

No Whole of Home performance assessment conducted for this certificate



## Certificate check

The checklist covers important items impacting the dwelling's ratings. It is recommended that the accuracy of the whole certificate is checked.

Note: The boxes indicate when and by whom each item should be checked. It is not mandatory to complete this checklist.

	Approval Stage		Construction Stage		
	Assessor checked	Consent Authority/ Surveyor checked	Builder checked	Consent Authority Surveyor checked	Occupancy/Other
<b>Genuine certificate check</b>					
Does this Certificate match the one available at the web address or QR code verification link on the front page?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the NatHERS certificate number on the NatHERS-stamped plans match the number on this Certificate?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Thermal performance check</b>					
<b>Windows and glazed doors</b>					
Does the window size, opening type and location shown on the NatHERS-stamped plans or as installed match what is shown in 'Window and glazed door schedule' and 'Roof window schedule' tables on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the installed windows meet the substitution tolerances (AFRC* based SHGC* and U-values*) as shown in the 'Window and glazed door type and performance' and 'Roof window type and performance' tables on this Certificate?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>External walls</b>					
Does the external wall bulk insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the External wall type table on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the external wall shade (colour) match what is shown in the 'External wall type' table on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Floor</b>					
Does the floor insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Floor type' table on this certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Ceiling penetrations*</b>					
Does the 'quantity' and 'type' of ceiling penetrations* (e.g. downlights, exhaust fans, etc) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Ceiling penetrations' table on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Ceiling</b>					
Does the ceiling insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Ceiling type' table on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Roof</b>					
Does the external roof shade (colour) on the NatHERS stamped plans or as installed match what is shown in the 'Roof type' table on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Apartment entrance doors (NCC Class 2 assessments only)</b>					
Does the 'External Door Schedule' show apartment entrance doors? Please note that an "external door" between the modelled dwelling and a shared space, such as an enclosed corridor or foyer, should not be included in the assessment (because it overstates the possible ventilation) and would invalidate the Certificate.	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<b>Exposure*</b>					
Has the appropriate exposure type (terrain) (shown on page 1) been applied? For example, it is unlikely that a ground-floor apartment is "exposed" or a top floor high-rise apartment is "protected".	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<b>Heating and cooling load limits*</b>					
Do the load limits settings (shown on page 1) match what is shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>





## Certificate check

Continued

	Approval Stage		Construction Stage		
	Assessor checked	Consent Authority/ Surveyor checked	Builder checked	Consent Authority Surveyor checked	Occupancy/Other

### Additional NCC requirements for thermal performance (not included in the NatHERS assessment)

#### Thermal bridging

Does the dwelling meet the NCC requirement for thermal bridging?

☐ ☐ ☐ ☐

#### Insulation installation method

Has the insulation been installed according to the NCC requirements?

☐ ☐ ☐

#### Building sealing

Does the dwelling meet the NCC requirements for Building Sealing?

☐ ☐ ☐ ☐

### Whole of Home performance check (not applicable if a Whole of Home performance assessment is not conducted)

#### Appliances

Does the cooling appliance/s type, location and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the Appliance schedule on this Certificate?

☐ ☐ ☐ ☐ ☐

Does the heating appliance/s type, location and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?

☐ ☐ ☐ ☐ ☐

Does the hot water system type and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?

☐ ☐ ☐ ☐ ☐

Does the pool pump efficiency/performance shown on the NatHERS-stamped plans or as installed match the minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?

☐ ☐ ☐ ☐ ☐

Does the onsite renewable energy system type, orientation and system size or generation capacity shown on the NatHERS stamped plans or installed match the 'Onsite Renewable Energy schedule' on this Certificate?

☐ ☐ ☐ ☐ ☐

### Additional NCC Requirements for Services (not included in the NatHERS assessment)

Does the lighting meet the artificial lighting requirements specified in the NCC?

☐ ☐ ☐ ☐

Does the hot water system meet the additional requirements specified in the NCC?

☐ ☐ ☐ ☐

#### Provisional values\* check

Have provisional values\* been used in the assessment and, if so, are they noted in 'Additional notes' table below?

☐ ☐ ☐ ☐

#### Other NCC requirements

Note: This Certificate only covers the energy efficiency requirements in the NCC. Additional requirements that must also be satisfied include, but are not limited to: condensation, structural and fire safety requirements and any state or territory variations to the NCC energy efficiency requirements.

#### Additional notes

Rev B



## Room schedule

Room	Zone Type	Area [m <sup>2</sup> ]
Kitchen/Living	Kitchen/Living	44.86
WC 2	Daytime	2.44
LDRY	Daytime	3.23
Home Office	Bedroom	10.51
PDR	Nighttime	4.27
Garage	Garage	16.59
Study	Daytime	10.57
Hall/Stairs	Daytime	15.39
Bedroom 1	Bedroom	20.98
EN	Nighttime	5.55
Bath	Unconditioned	4.86
WC 1	Unconditioned	1.73
Bedroom 2	Bedroom	10.22
Bedroom 3	Bedroom	10
Bedroom 4	Bedroom	10.03
Study Nook	Daytime	22.61

## Window and glazed door type and performance

### Default windows\*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

### Custom windows\*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
STG-007-016	Aluminium Sliding Window SG 4Pb	4.7	0.62	0.59	0.65
STG-004-031	Aluminium Sliding Door DG 4Clr/10Ar/4Pb	3.0	0.49	0.46	0.51
STG-007-001	Aluminium Sliding Window SG 3Clr	6.3	0.73	0.69	0.77
STG-002-019	Aluminium Awning Window SG 4Pb	5.0	0.56	0.53	0.58

\* Refer to glossary.



## Custom windows\*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
STG-005-015	Aluminium Sliding Door SG 4Pb	4.6	0.66	0.62	0.69

## Window and glazed door schedule

Location	Window ID	Window no.	Height [mm]	Width [mm]	Window type	Opening %	Orientation	Window shading device*
Kitchen/Living	STG-007-016-001	W6	2000	2400	Sliding	30	N	No
Kitchen/Living	STG-007-016-001	W20	700	2700	Sliding	45	N	No
Kitchen/Living	STG-004-031-001	W4	2400	3598	Sliding	45	W	No
Home Office	STG-007-016-001	W19	2000	1500	Sliding	30	N	No
PDR	STG-007-001-001	n/a	343	1200	Sliding	45	N	No
Study	STG-002-019-001	W23	2100	1000	Awning	90	E	No
Bedroom 1	STG-007-016-001	W14	700	2100	Sliding	45	N	No
Bedroom 1	STG-007-016-001	W13	900	2600	Sliding	45	W	No
EN	STG-007-001-001	n/a	400	700	Sliding	45	W	No
Bath	STG-007-001-001	n/a	900	600	Sliding	45	N	No
WC 1	STG-007-001-001	n/a	900	600	Sliding	45	N	No
Bedroom 2	STG-007-016-001	W17	1200	1400	Sliding	45	N	No
Bedroom 3	STG-007-016-001	W18	700	1800	Sliding	45	N	No
Bedroom 3	STG-005-015-001	W22	2000	2100	Sliding	45	E	No
Bedroom 4	STG-002-019-001	W21	1800	2355	Awning	60	E	No

## Roof window\* type and performance value

## Default roof windows\*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

## Custom roof windows\*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					



## Roof window\* schedule

Location	Window ID	Window no.	Opening %	Height [mm]	Width [mm]	Orientation	Outdoor shade	Indoor shade
No Data Available								

## Skylight\* type and performance

Skylight ID	Skylight description	Skylight shaft reflectance
No Data Available		

## Skylight\* schedule

Location	Skylight ID	Skylight No.	Skylight shaft length [mm]	Area [m <sup>2</sup> ]	Orientation	Outdoor shade	Diffuser
No Data Available							

## External door schedule

Location	Height [mm]	Width [mm]	Opening %	Orientation
Garage	2400	2350	90	E
Study	2340	1020	90	E
Bedroom 4	2040	720	90	N

## External wall type

Wall ID	Wall type	Solar absorptance	Wall shade [colour]	Bulk insulation [R-value]	Reflective wall wrap*
EW-1	Timber Stud Frame Brick Veneer	0.50		Bulk Insulation, Air Gap R2.7	No
EW-2	Single Skin Brick	0.50		No insulation	No
EW-3	Fibro Timber Stud Frame Panel Direct Fix	0.50		Bulk Insulation, Air Gap R2.7	No

## External wall schedule

Location	Wall ID	Height [mm]	Width [mm]	Orientation	Horizontal shading feature* maximum projection [mm]	Vertical shading feature [yes/no]
Kitchen/Living	EW-1	2740	6895	N	600	No
Kitchen/Living	EW-1	2740	6100	W	4100	Yes
Home Office	EW-1	2740	3590	N	100	No
PDR	EW-1	2740	1590	N	100	No



Location	Wall ID	Height [mm]	Width [mm]	Orientation	Horizontal shading feature* maximum projection [mm]	Vertical shading feature [yes/no]
Garage	EW-2	3254	5495	N	100	No
Garage	EW-2	3254	3095	E	1400	No
Study	EW-1	2740	1000	N	3200	No
Study	EW-1	2740	3000	E	1100	Yes
Bedroom 1	EW-3	2440	4095	N	600	No
Bedroom 1	EW-3	2440	4195	W	600	No
EN	EW-3	2440	1895	W	600	No
Bath	EW-3	2440	1990	N	600	No
WC 1	EW-3	2440	1190	N	600	No
Bedroom 2	EW-3	2440	3090	N	600	No
Bedroom 3	EW-3	2440	3595	N	600	No
Bedroom 3	EW-3	2440	3095	E	1200	No
Bedroom 4	EW-1	2440	1000	N	3700	No
Bedroom 4	EW-1	2440	3000	E	200	No

Internal wall type

Wall ID	Wall type	Area [m²]	Bulk insulation
IW-001	Timber Stud Frame, Direct Fix Plasterboard	125.79	No insulation
IW-002	Shaft liner party wall with plaster	64.55	Bulk Insulation both sides of shaft liner R2
IW-003	Timber Stud Frame, Direct Fix Plasterboard	36.94	Bulk Insulation, No Air Gap R2

Floor type

Location	Construction	Area [m²]	Sub-floor ventilation	Added insulation [R-value]	Covering
Kitchen/Living	Waffle pod slab 300 mm 100mm	44.86	None	Waffle Pod 300mm	Cork Tiles or Parquetry 8mm
WC 2	Waffle pod slab 300 mm 100mm	2.44	None	Waffle Pod 300mm	Ceramic Tiles 8mm
LDRY	Waffle pod slab 300 mm 100mm	3.23	None	Waffle Pod 300mm	Ceramic Tiles 8mm
Home Office	Waffle pod slab 300 mm 100mm	10.51	None	Waffle Pod 300mm	Cork Tiles or Parquetry 8mm
PDR	Waffle pod slab 300 mm 100mm	4.27	None	Waffle Pod 300mm	Ceramic Tiles 8mm



Location	Construction	Area [m <sup>2</sup> ]	Sub-floor ventilation	Added insulation [R-value]	Covering
Garage	Waffle pod slab 300 mm 100mm	16.59	None	Waffle Pod 300mm	Bare
Study	Waffle pod slab 300 mm 100mm	10.57	None	Waffle Pod 300mm	Cork Tiles or Parquetry 8mm
Hall/Stairs	Waffle pod slab 300 mm 100mm	15.39	None	Waffle Pod 300mm	Cork Tiles or Parquetry 8mm
Bedroom 1 / Kitchen/Living	Timber Framed Timber Above Plasterboard 19mm	16.80		No Insulation	Carpet 10mm
Bedroom 1 / Home Office	Timber Framed Timber Above Plasterboard 19mm	2.22		No Insulation	Carpet 10mm
Bedroom 1 / Hall/Stairs	Timber Framed Timber Above Plasterboard 19mm	1.11		No Insulation	Carpet 10mm
EN / Kitchen/Living	Timber Framed Timber Above Plasterboard 19mm	5.55		No Insulation	Ceramic Tiles 8mm
Bath / Home Office	Timber Framed Timber Above Plasterboard 19mm	4.85		No Insulation	Ceramic Tiles 8mm
WC 1 / Home Office	Timber Framed Timber Above Plasterboard 19mm	1.08		No Insulation	Ceramic Tiles 8mm
WC 1 / PDR	Timber Framed Timber Above Plasterboard 19mm	0.45		No Insulation	Ceramic Tiles 8mm
Bedroom 2 / PDR	Timber Framed Timber Above Plasterboard 19mm	3.01		No Insulation	Carpet 10mm
Bedroom 2 / Garage	Timber Framed Timber Above Plasterboard 19mm	6.50		Bulk Insulation R5	Carpet 10mm
Bedroom 3 / Garage	Timber Framed Timber Above Plasterboard 19mm	9.99		Bulk Insulation R5	Carpet 10mm
Bedroom 4 / Study	Timber Framed Timber Above Plasterboard 19mm	10.03		No Insulation	Carpet 10mm
Study Nook / WC 2	Timber Framed Timber Above Plasterboard 19mm	0.00		No Insulation	Cork Tiles or Parquetry 8mm
Study Nook / LDRY	Timber Framed Timber Above Plasterboard 19mm	0.00		No Insulation	Cork Tiles or Parquetry 8mm
Study Nook / Home Office	Timber Framed Timber Above Plasterboard 19mm	0.00		No Insulation	Cork Tiles or Parquetry 8mm
Study Nook / PDR	Timber Framed Timber Above Plasterboard 19mm	0.00		No Insulation	Cork Tiles or Parquetry 8mm
Study Nook / Study	Timber Framed Timber Above Plasterboard 19mm	0.00		No Insulation	Cork Tiles or Parquetry 8mm
Study Nook / Hall/Stairs	Timber Framed Timber Above Plasterboard 19mm	6.57		No Insulation	Cork Tiles or Parquetry 8mm

## Ceiling type

Location	Construction material/type	Bulk insulation R-value (may include edge batt values)	Reflective wrap* [yes/no]
Kitchen/Living	Plasterboard on Timber	Bulk Insulation R6	
Kitchen/Living	Timber Framed Timber Above Plasterboard	No Insulation	
WC 2	Timber Framed Timber Above Plasterboard	No Insulation	
LDRY	Timber Framed Timber Above Plasterboard	No Insulation	
Home Office	Timber Framed Timber Above Plasterboard	No Insulation	
PDR	Timber Framed Timber Above Plasterboard	No Insulation	
Garage	Timber Framed Timber Above Plasterboard	Bulk Insulation R5	
Study	Timber Framed Timber Above Plasterboard	No Insulation	
Hall/Stairs	Timber Framed Timber Above Plasterboard	No Insulation	
Bedroom 1	Plasterboard on Timber	Bulk Insulation R6	
EN	Plasterboard on Timber	Bulk Insulation R6	
Bath	Plasterboard on Timber	Bulk Insulation R6	
WC 1	Plasterboard on Timber	Bulk Insulation R6	
Bedroom 2	Plasterboard on Timber	Bulk Insulation R6	
Bedroom 3	Plasterboard on Timber	Bulk Insulation R6	
Bedroom 4	Plasterboard on Timber	Bulk Insulation R6	
Study Nook	Plasterboard on Timber	Bulk Insulation R6	

## Ceiling penetrations\*

Location	Quantity	Type	Diameter [mm]	Sealed/unsealed
Kitchen/Living	11	Downlights - LED	150	Sealed
Kitchen/Living	1	Exhaust Fans	300	Sealed
WC 2	1	Exhaust Fans	300	Sealed
LDRY	1	Exhaust Fans	300	Sealed
Home Office	2	Downlights - LED	150	Sealed
Study	2	Downlights - LED	150	Sealed
Hall/Stairs	4	Downlights - LED	150	Sealed
Bedroom 1	5	Downlights - LED	150	Sealed
Bedroom 2	2	Downlights - LED	150	Sealed
Bedroom 3	2	Downlights - LED	150	Sealed

\* Refer to glossary.



Location	Quantity	Type	Diameter [mm]	Sealed/unsealed
Bedroom 4	2	Downlights - LED	150	Sealed
Study Nook	5	Downlights - LED	150	Sealed

## Ceiling fans

Location	Quantity	Diameter [mm]
No Data Available		

## Roof type

Construction	Added insulation [R-value]	Solar absorptance	Roof shade [colour]
Corrugated Iron Timber Frame	Foil, Gap Above, Reflective Side Down, Anti-glare Up	0.50	Medium

## Thermal bridging schedule for steel frame elements

Building element	Steel section dimensions [height x width, mm]	Frame spacing [mm]	Steel thickness [BMT,mm]	Thermal break [R-value]
No Data Available				

## Appliance schedule

(not applicable if a Whole of Home performance assessment is not conducted for this certificate)

Note: A flat assumption of 5W/m<sup>2</sup> is used for lighting, therefore lighting is not included in the appliance schedule.

### Cooling system

Appliance/ system type	Location	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Data Available				

### Heating system

Appliance/ system type	Location	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Data Available				

### Hot water system

Appliance/ system type	Fuel type	Hot Water CER Zone	Minimum efficiency /STC	Zone 3 STC	Zone 3 Substitution tolerance ranges		Assessed daily load [litres]
					lower limit	upper limit	
No Data Available							





Pool/spa equipment

Appliance/ system type	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Data Available			

Onsite Renewable Energy Schedule

System Type	Orientation	System Size Or Generation Capacity
No Data Available		

Battery Schedule

System Type	Size [Battery Storage Capacity]
No Data Available	



## Explanatory notes

### About this report

NatHERS ratings are a reliable guide for comparing different dwelling designs and to demonstrate that designs meet the energy efficiency requirements in the National Construction Code.

NatHERS ratings use computer modelling to evaluate a home's energy efficiency and performance. They use localised climate data and standard assumptions on how people use their home to predict the heating and cooling energy loads and energy value\* of the whole home. The thermal performance star rating uses the home's building specifications, layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings) to predict the heating and cooling energy loads. The Whole of Home performance rating uses information about the home's appliances and onsite energy generation and storage to estimate the home's energy value\*.

The actual energy loads, cost and greenhouse gas emissions of a home may vary from that predicted. This is because the assumptions will not always match the actual occupant usage patterns. For example, the number of occupants and how people use their appliances will vary.

Energy efficient homes use less energy, are warmer on cool days, cooler on hot days and cost less to run.

### Accredited assessors

For quality assured NatHERS Certificates, always use an accredited or licenced assessor registered with an Assessor Accrediting Organisation (AAO). AAOs have strict quality assurance processes, and professional development requirements ensuring consistently high standards for assessments.

Non-accredited assessors (Raters) have no ongoing training requirements and

are not quality assured.

Any queries about this report should be directed to the assessor. If the assessor is unable to address questions or concerns, contact the AAO specified on the front of this certificate.

### Disclaimer

The NatHERS Certificate format is developed by the NatHERS Administrator. However, the content in the certificate is entered by the assessor. It is the assessor's responsibility to use NatHERS accredited software correctly and follow the NatHERS Technical Note to produce a NatHERS Certificate.

The predicted annual energy load, cost and greenhouse gas emissions in this NatHERS Certificate are an estimate based on an assessment of the dwelling's design by the assessor. It is not a prediction of actual energy use, cost or emissions. The information and ratings may be used to compare how other dwellings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, behaviour, appliance performance, indoor air temperature and local climate.

Not all assumptions made by the assessor using the NatHERS accredited software tool are presented in this report and further details or data files may be obtained from the assessor.

## Glossary

<b>AFRC</b>	Australian Fenestration Rating Council
<b>Annual energy load</b>	the predicted amount of energy required for heating and cooling, based on standard occupancy assumptions.
<b>Assessed floor area</b>	the floor area modelled in the software for the purpose of the NatHERS assessment. Note, this may not be consistent with the floor area in the design documents.
<b>Ceiling penetrations</b>	features that require a penetration to the ceiling, including downlights, vents, exhaust fans, range hoods, chimneys and flues. Excludes fixtures attached to the ceiling with small holes through the ceiling for wiring, e.g. ceiling fans; pendant lights, and heating and cooling ducts.
<b>COP</b>	Coefficient of performance
<b>Conditioned</b>	a zone within a dwelling that is expected to require heating and cooling based on standard occupancy assumptions. In some circumstances it will include garages.
<b>Custom windows</b>	windows listed in NatHERS software that are available on the market in Australia and have a WERS (Window Energy Rating Scheme) rating.
<b>Default windows</b>	windows that are representative of a specific type of window product and whose properties have been derived by statistical methods.
<b>EER</b>	Energy Efficiency Ratio, measure of how much cooling can be achieved by an air conditioner for a single kWh of electricity input
<b>Energy use</b>	This is your home's rating without solar or batteries.
<b>Energy value</b>	The net cost to society including, but not limited to, costs to the building user, the environment and energy networks (as defined in the ABCB Housing Provisions Standard).
<b>Entrance door</b>	these signify ventilation benefits in the modelling software and must not be modelled as a door when opening to a minimally ventilated corridor in a Class 2 building.
<b>Exposure</b>	see exposure categories below.
<b>Exposure category – exposed</b>	terrain with no obstructions e.g. flat grazing land, ocean-frontage, desert, exposed high-rise unit (usually above 10 floors).
<b>Exposure category – open</b>	terrain with few obstructions at a similar height e.g. grasslands with few well scattered obstructions below 10m, farmland with scattered sheds, lightly vegetated bush blocks, elevated units (e.g. above 3 floors).
<b>Exposure category – protected</b>	terrain with numerous, closely spaced obstructions below 10m e.g. suburban housing, heavily vegetated bushland areas.
<b>Exposure category – suburban</b>	terrain with numerous, closely spaced obstructions over 10 m e.g. city and industrial areas.
<b>Horizontal shading feature</b>	provides shading to the building in the horizontal plane, e.g. eaves, verandahs, pergolas, carports, or overhangs or balconies from upper levels.
<b>National Construction Code (NCC) Class</b>	the NCC groups buildings by their function and use, and assigns a classification code. NatHERS software models NCC Class 1, 2 or 4 buildings and attached Class 10a buildings. Definitions can be found at <a href="http://www.abcb.gov.au">www.abcb.gov.au</a> .
<b>Net zero home</b>	a home that achieves a net zero energy value*.
<b>Opening percentage</b>	the operability percentage or operable (moveable) area of doors or windows that is used in ventilation calculations.
<b>Provisional value</b>	an assumed value that does not represent an actual value. For example, if the wall colour is unspecified in the documentation, a provisional value of 'medium' must be modelled. Acceptable provisional values are outlined in the NatHERS Technical Note and can be found at <a href="http://www.nathers.gov.au">www.nathers.gov.au</a>
<b>Recommended capacity</b>	this is the capacity or size of equipment that is recommended by NatHERS to achieve the desired comfort conditions in the zone or zones serviced. This is a recommendation and the final selection sizing should be confirmed by a suitably qualified person.
<b>Reflective wrap</b> (also known as foil)	can be applied to walls, roofs and ceilings. When combined with an appropriate airgap and emissivity value, it provides insulative properties.
<b>Roof window</b>	for NatHERS this is typically an operable window (i.e. can be opened), will have a plaster or similar light well if there is an attic space, and generally does not have a diffuser.
<b>Shading features</b>	includes neighbouring buildings, fences, and wing walls, but excludes eaves.
<b>Skylight</b> (also known as roof lights)	for NatHERS this is typically a moulded unit with flexible reflective tubing (light well) and a diffuser at ceiling level.
<b>Solar heat gain coefficient (SHGC)</b>	the fraction of incident solar radiation admitted through a window, both directly transmitted as well as absorbed and subsequently released inward. SHGC is expressed as a number between 0 and 1. The lower a window's SHGC, the less solar heat it transmits.
<b>STCs</b>	Small-scale Technology Certificates, certificates created by the REC registry for renewable energy technologies that may be bought and sold as part of the Small-scale Renewable Energy Scheme operated by the Clean Energy Regulator (CER)
<b>Thermal breaks</b>	are materials with an R-value greater than or equal to 0.2 that must separate the metal frame from the cladding. This includes, but is not limited to, materials such as timber battens greater than or equal to 20mm thick or continuous thermal breaks such as polystyrene insulation sheathing or plastic strips
<b>U-value</b>	the rate of heat transfer through a window. The lower the U-value, the better the insulating ability.
<b>Unconditioned</b>	a zone within a dwelling that is assumed to not require heating and cooling based on standard occupancy assumptions.
<b>Vertical shading features</b>	provides shading to the building in the vertical plane and can be parallel or perpendicular to the subject wall/window. Includes privacy screens, other walls in the building (wing walls), fences, other buildings, vegetation (protected or listed heritage trees).
<b>Window shading device</b>	device fixed to windows that provides shading e.g. window awnings or screens but excludes horizontal* or vertical shading features* (eg eaves and balconies)

\* Refer to glossary.



DRAWING SET

SHEET	TITLE
00	COVER SHEET
01	SITE PLAN
02	GROUND FLOOR
03	FIRST FLOOR
04	ELEVATIONS
05	ELEVATION & SECTION
05.1	DETAILS
05.2	KNAUF PARTI WALL DETAIL
05.3	KNAUF PARTI WALL DETAILS
05.4	KNAUF PARTI WALL DETAILS
10	SEDIMENT CONTROL PLAN
12	CONCEPT LANDSCAPE PLAN
20	SITE ANALYSIS
21.1	9am JUNE 21-SHADOW
21.2	12 noon JUNE 21-SHADOW
21.3	3pm JUNE 21-SHADOW
22	NOTIFICATION PLANS

Architectural Plans

Prepared for:

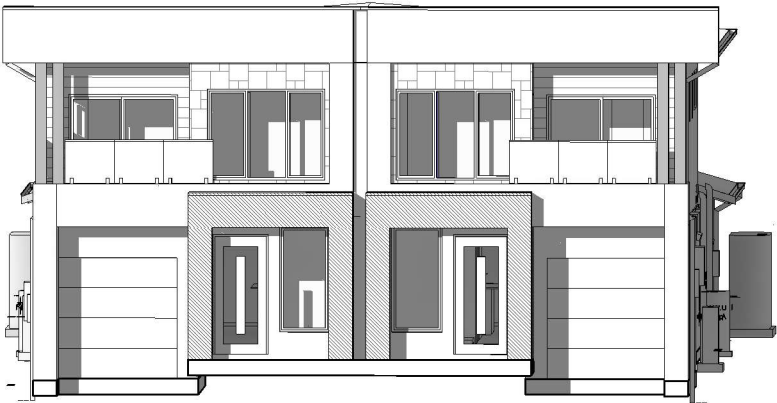
Mr. F HAGEALI

RUTHERGLEN MKII DUPLEX  
MODIFIED STELLA NEW HOME FAÇADE

To be constructed on your land at:

LOT 98 (#44) COLIN STREET, LAKEMBA

NCC 2022  
CONSTRUCTION REQ'S  
  
BCA OPTION FOR  
WATERPROOFING  
+ TILING



GENERAL CONSTRUCTION NOTES

1. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS; NSW GOVERNMENT ENFORCED BASIX REQUIREMENTS; THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (BCA 2022); AND THE RELEVANT AUSTRALIAN STANDARDS (AS)
2. ALL CONCRETE WORK TO COMPLY WITH AS2870 - RESIDENTIAL SLABS AND FOOTINGS
3. ALL ROOF, CEILING AND WALL FRAMING TO COMPLY WITH AS1684 - TIMBER FRAMING CODE
4. ALL PLUMBING WORK TO COMPLY WITH AS3500 - PLUMBING AND DRAINAGE CODE
5. ALL ELECTRICAL WORK TO COMPLY WITH AS3000 - ELECTRICAL INSTALLATIONS
6. ALL MASONRY WORK TO COMPLY WITH AS3700 - MASONRY STRUCTURES AND AS4773 - MASONRY IN SMALL BUILDINGS
7. ALL CONTROL JOINTS (ARTICULATION JOINTS, SLIP JOINTS, CONTRACTION JOINTS AND EXPANSION JOINTS) ARE TO BE DETERMINED DURING CONSTRUCTION
8. ALL GLASS TO COMPLY WITH AS1288 - GLASS IN BUILDINGS: SELECTION AND INSTALLATION
9. TOUGHENED GLASS TO ALL WET AREAS WINDOWS AS PER AS1288 - GLASS IN BUILDINGS: SELECTION AND INSTALLATION
10. ALL FLOOR AND WALL TILING TO COMPLY WITH AS3958 - CERAMIC TILES
11. ALL WATERPROOFING TO COMPLY WITH RELEVANT CLAUSE OF BCA 2022 (BCA WATERPROOFING)
12. ALL FLOOR SURFACE MATERIALS TO COMPLY WITH RELEVANT CLAUSE OF BCA 2022 (SLIP RESISTANCE) AND TO COMPLY WITH AS4586 - SLIP COMPLIANCE
13. ALL SECOND STOREY BEDROOM WINDOWS TO COMPLY WITH RELEVANT CLAUSE OF BCA 2022 (PROTECTION OF OPENABLE WINDOWS - BEDROOMS)
14. ALL SECOND STOREY WINDOWS OTHER THAN BEDROOM WINDOWS TO COMPLY WITH RELEVANT CLAUSE OF BCA 2022 (PROTECTION OF OPENABLE WINDOWS - ROOMS OTHER THAN BEDROOMS)
15. ALL STAIR CONSTRUCTION TO COMPLY WITH RELEVANT CLAUSE OF BCA 2022 (STAIRWAY AND RAMP CONSTRUCTION)
16. FLOOR WASTE LOCATIONS ARE SHOWN AS INDICATIVE ONLY. LOCATION TO BE DETERMINED DURING CONSTRUCTION
17. SMOKE DETECTOR LOCATIONS ARE SHOWN AS INDICATIVE ONLY. LOCATION TO BE DETERMINED DURING CONSTRUCTION
18. HOT WATER UNIT LOCATIONS ARE SHOWN AS INDICATIVE ONLY. LOCATION TO BE DETERMINED DURING CONSTRUCTION
19. ALL WALLS WITHIN 900mm OF BOUNDARY WALLS TO BE 60-60-60
20. ALL HATCHING REPRESENTING WALL AND FLOOR FINISHES ARE INDICATIVE ONLY
21. ALL BULKHEAD HEIGHTS NOMINATED ON THE FLOOR PLAN(S) ARE OFF THE NOMINATED FINISHED FLOOR LEVEL (FFL) NOT FLOOR COVERINGS
22. DOOR HEIGHTS AS NOMINATED AND ALL HINGED SIDE OF DOORS TO HAVE A MINIMUM 70mm NIB
23. DUE TO BUILDING REGULATION REQUIREMENTS AND SELECTED FLOOR FINISHES, KITCHEN BENCHTOP HEIGHTS MAY ALTER FROM THE HEIGHT NOMINATED ON THE TYPICAL JOINERY SHEET

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12.03.25 PR	C (T04)	DA SUBMISSION
10.02.25 SP	B (T04)	PP AMENDMENTS
21.01.25	A (T03)	FIRST DRAW
DATE	ISSUE	REVISION

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	FOR:	DATE:		CHECKED
		21.01.25		
	Mr. F HAGEALI	DRAWN:		
		DI		
	AT:	JOB NO:		
7740				
LOT 98 (#44) COLIN STREET, LAKEMBA				

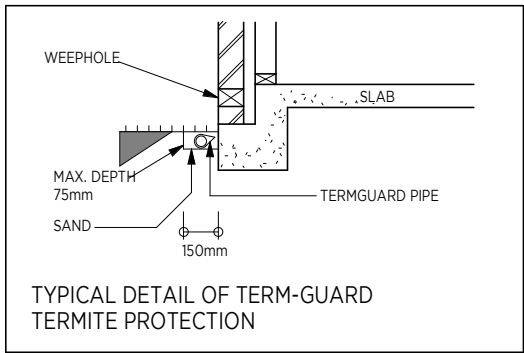


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FLOOR COVERING					
GROUND FLOOR			FIRST FLOOR		
	UNIT #1	UNIT #2	UNIT #1	UNIT #2	
STUDY	LAMINATE	LAMINATE	BEDS	CARPET	CARPET
HOME O.	LAMINATE	LAMINATE	STUDY N.	LAMINATE	LAMINATE
DINING	LAMINATE	LAMINATE	HALLWAY	LAMINATE	LAMINATE
FAMILY	LAMINATE	LAMINATE			
KITCHEN	LAMINATE	LAMINATE			
STAIRS	LAMINATE	LAMINATE			

EXTERNAL COLOUR	
ROOF	EXTERNAL WALL
DARK/MEDIUM/LIGHT	DARK/MEDIUM/LIGHT

NOTE:  
STORMWATER TO BE CONNECTED  
TO RAIN WATER TANK  
OVERFLOW TO BE DETERMINED  
BY HYDRAULIC ENGINEER.

RAINWATER TANK DUAL  
PLUMBING CONNECTED AS  
PER BASIX CERTIFICATE

ALL WORKS TO BE CARRIED OUT  
IN ACCORDANCE WITH  
REQUIREMENTS SET OUT ON THE  
BASIX/NATHERS CERTIFICATE

## L.G.A : BANKSTOWN SITE CALCULATIONS

A. UNIT 1 GROUND FLOOR AREA	148.35m <sup>2</sup>
B. UNIT 1 FIRST FLOOR AREA	98.47m <sup>2</sup>
C. UNIT 2 GROUND FLOOR AREA	148.35m <sup>2</sup>
D. UNIT 2 FIRST FLOOR AREA	98.47m <sup>2</sup>
E. TOTAL BUILDING AREA	493.64m <sup>2</sup>
F. UNIT 1 GARAGE AREA	18.62m <sup>2</sup>
G. UNIT 2 GARAGE AREA	18.62m <sup>2</sup>
H. UNIT 1 PORCH AREA	4.09m <sup>2</sup>
I. UNIT 2 PORCH AREA	4.09m <sup>2</sup>
J. UNIT 1 ALFRESCO AREA	22.75m <sup>2</sup>
K. UNIT 2 ALFRESCO AREA	22.75m <sup>2</sup>
L. UNIT 1 BALCONY AREA	4.30m <sup>2</sup>
M. UNIT 2 BALCONY AREA	4.30m <sup>2</sup>
N. EXT. WALLS + VOID AREA	41.04m <sup>2</sup>
O. DRIVEWAY AREA (APPROX.)	56.60m <sup>2</sup>
P. SITE AREA	739.80m <sup>2</sup>

FSR: E - (F+G+H+I+J+K+L+M+N) / P	0.48 : 1
SITE COVERAGE: A+C+O / P	47.76%
LANDSCAPED AREA:	52.24%

## FOR DURABILITY REQ'S REFER TO ENG'S DETAILS

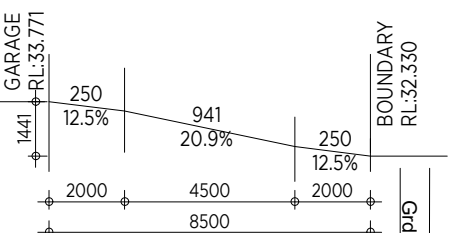
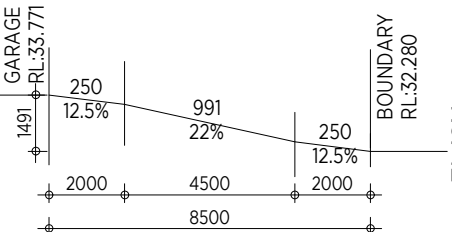
### KEY

ET : Electric Turret	ET	LIN : Lintel	
LP : Light Pole	LP	KO : Kerb Outlet	+
PP : Power Pole	PP	SIP : Sewer Insp Point	o
GAS : Gas Meter	GAS	SMS : Sewer Maint. Shaft	o
HYD : Hydrant	HYD	SMH : Sewer Manhole	o
SV : Stop Valve	SV	TEL : Telecom Pit	■
WC : Water Connection	WC	PC : Pram Crossing	
WM : Water Meter	WM	VC : Vehicle Crossing	
SWP : Stormwater Pit	SWP	DH&W: Drillhole & Wing	■

- ⓓ Denotes Door  
Ⓦ Denotes Window

**MARINE ENVIRONMENT CONDITIONS: (BY BUILDER)**

- Exposed steel beams and lintels - finished to R3 durability.
- Enclosed steel beams - finished to R3 durability.
- Brick ties and expansion ties - R3 galvanised.
- Bricks - general purpose.
- Mortar type/mix - M3.
- Exposed nails - to be galvanised
- Sarking to underside of roof tiles.



NOTE: REFER TO ELECTRICAL PLAN  
PREPARED BY CLIPSAL FOR ALL ELECTRICAL  
REQUIREMENTS

OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS  
TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE  
HAD THEM EXPLAINED TO US AND ACCEPT  
AND APPROVE THE FRONT/REAR/SIDE  
SETBACKS AND CUT/FILL LEVELS AS SHOWN  
ON THE PLAN.  
I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT  
EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR  
THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN  
ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE  
CONSENT TO ALLCASTLE HOMES P/L TO  
LODGE OUR PLANS TO APPROVING  
AUTHORITY FOR A DEVELOPMENT  
APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER  
PHYSICAL CHANGES CAN BE MADE  
I/WE UNDERSTAND THAT DUE TO  
CONSTRUCTION CONSTRAINTS, THE BUILDER  
MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE  
OR RETAINING WALLS REQUIRED BY  
APPROVING AUTHORITY ARE TO BE  
COMPLETED WITH LANDSCAPING BY OWNER

12.03.25 PR	C (T04)	DA SUBMISSION
10.02.25 SP	B (T04)	PP AMENDMENTS
21.01.25	A (T03)	FIRST DRAW

DATE	ISSUE	REVISION
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NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS  
- NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE  
IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN  
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IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL  
INCLUSIONS ARE CORRECT. NOTE: WET AREA SYMBOLS ARE STRICTLY SYMBOLIC, OWNERS TO  
CONFIRM WET AREA ITEMS WITH SELECTIONS.

PROPOSED RESIDENCE	RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FACADE
FOR: Mr. F HAGEALI	DATE: 21.01.25 DRAWN: DI
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SHEET NO: 01 JOB NO: 7740

SALES: PHONE: (02) 9629 4772  
FAX: (02) 9629 5813  
HEAD OFFICE: 96-100 TOONGABBIE ROAD,  
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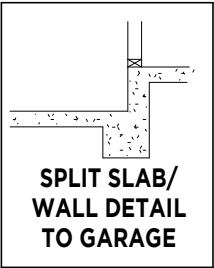
PROVIDE 300MM FLOOR JOISTS

EXTERNAL DIMENSIONS OF HOME MAY NOT BE EXACT MULTIPLES OF BRICK AND IN SOME LOCATIONS UNEVEN CUTS TO BRICKS/ STORM MOULDS MAY BE REQUIRED

ALL STEEL TO BE MEASURED (HEIGHT) & FLOORING TO BE CHECKED OVER IF REQUIRED

SHOWER ROSES TO BE 1850 OFF FLOOR PRIOR TO TILING FOR STANDARD ADJUSTABLE ROSE (IF FIXED SHOWER ROSE IS SELECTED, MOUNT AT 2000 HIGH)

NOTE: PROVIDE CONTROL JOINT TO ANY UNBROKEN CEILING GREATER THAN 12m IN LENGTH.  
\*\* LOCATION OF ANY OTHER CONTROL JOINT IN PLASTERBOARD AS PER MANUFACT. INSTALLATION GUIDE \*\*



NOTE: REFER TO ELECTRICAL PLAN PREPARED BY CLIPSAL FOR ALL ELECTRICAL REQUIREMENTS

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I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

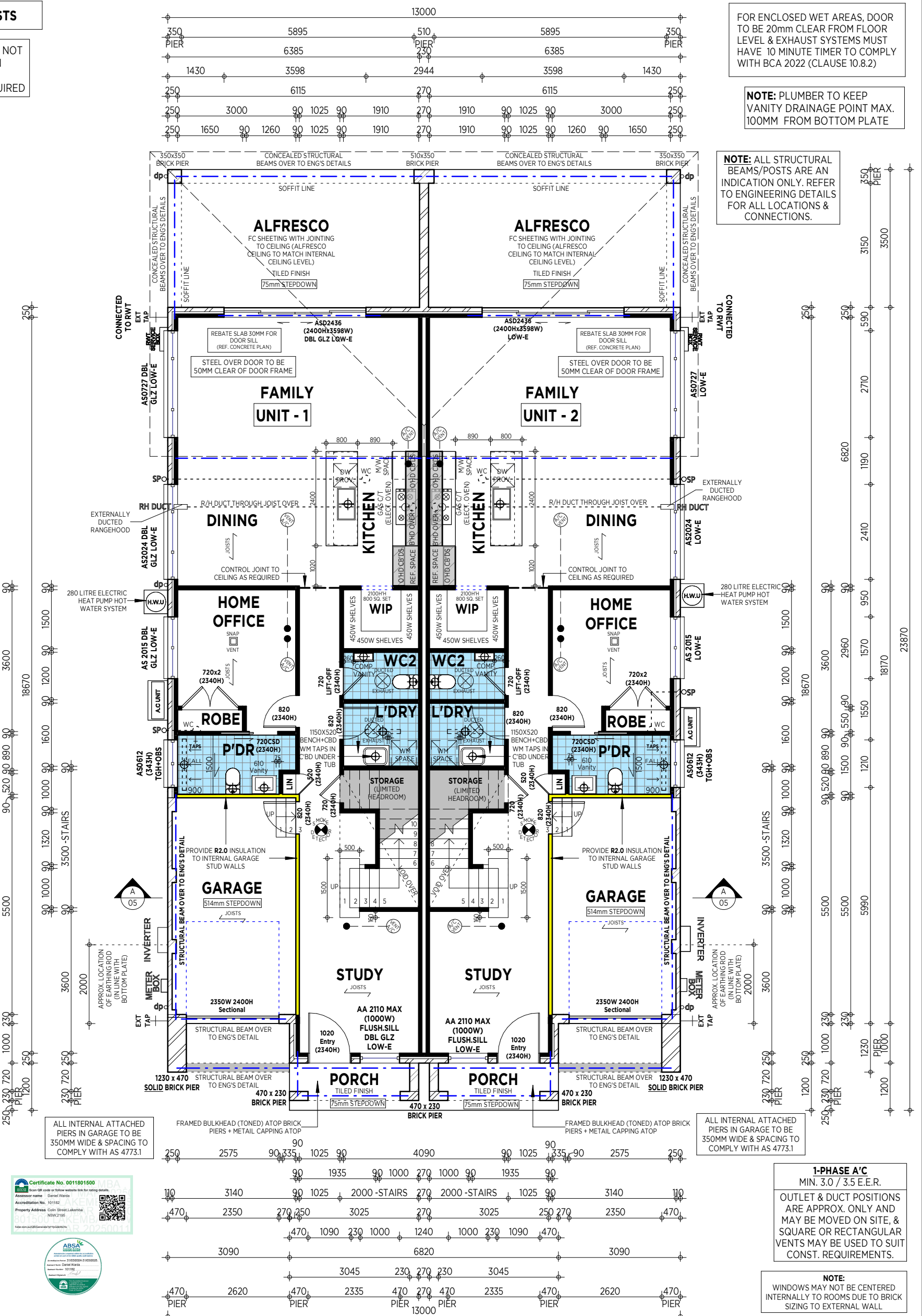
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I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE

I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE



FOR ENCLOSED WET AREAS, DOOR TO BE 20mm CLEAR FROM FLOOR LEVEL & EXHAUST SYSTEMS MUST HAVE 10 MINUTE TIMER TO COMPLY WITH BCA 2022 (CLAUSE 10.8.2)

NOTE: PLUMBER TO KEEP VANITY DRAINAGE POINT MAX. 100MM FROM BOTTOM PLATE

NOTE: ALL STRUCTURAL BEAMS/POSTS ARE AN INDICATION ONLY. REFER TO ENGINEERING DETAILS FOR ALL LOCATIONS & CONNECTIONS.

1-PHASE A/C  
MIN. 3.0 / 3.5 E.E.R.

OUTLET & DUCT POSITIONS ARE APPROX. ONLY AND MAY BE MOVED ON SITE, & SQUARE OR RECTANGULAR VENTS MAY BE USED TO SUIT CONST. REQUIREMENTS.

NOTE: WINDOWS MAY NOT BE CENTERED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL

TIMBER FRAME CONSTRUCTION

GROUND FLOOR

SELECTED WALL WRAP TO ALL EXTERNAL FRAMES			ALL DOWNPIPES TO BE PVC, CIRCULAR & SET 240MM FROM OUTSIDE OF EDGE TO CENTRELINE OF D.P. UNLESS OTHERWISE INDICATED		IF REQUIRED, BEAMS TO BE PACKED WITH <b>NON-COMPRESSIBLE MATERIAL</b> TO ENSURE FLOORS AND FRAMES ARE LEVEL	
DA SUBMISSION PP AMENDMENTS FIRST DRAW			ALLCASTLE HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL INCLUSIONS ARE CORRECT. NOTE: WET AREA SYMBOLS ARE STRICTLY SYMBOLIC, OWNERS TO CONFIRM WET AREA ITEMS WITH SELECTIONS.			
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PROPOSED RESIDENCE			RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FACADE		SALES: PHONE: (02) 9629 4772 FAX: (02) 9629 5813 HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEE NSW 2145 PHONE: (02) 9672 7055 FAX: (02) 9672 7033 ABN: 12057761378 BLDG.LIC.39371	
FOR: Mr. F HAGEALI			DATE: 21.01.25 DRAWN: DI		SCALE: 1:100 CHECKED	
AT: LOT 98 (#44) COLIN STREET, LAKEMBA			SHEET NO: 02		JOB NO: 7740	



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**R** DENOTES **RESTRICTION** ON THE WINDOW

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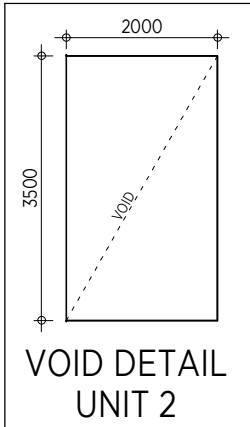
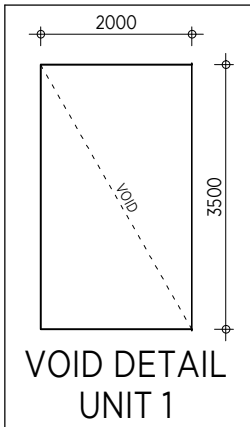
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OWNER OWNER DATE



12.03.25 PR C (T04) DA SUBMISSION  
10.02.25 SP B (T04) PP AMENDMENTS  
21.01.25 A (T03) FIRST DRAW

DATE ISSUE REVISION

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PROPOSED RESIDENCE

FOR: Mr. F HAGEALI

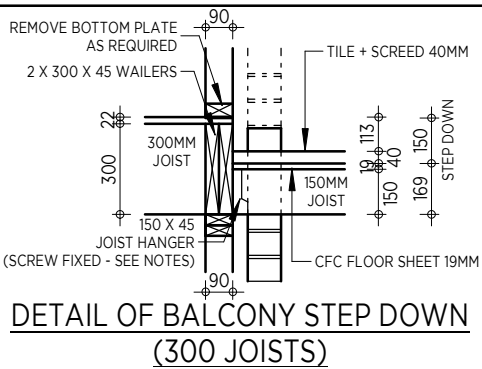
AT: LOT 98 (#44) COLIN STREET, LAKEMBA

RUTHERGLEN MKII DUPLEX

DATE: 21.01.25 SCALE: As indicated

SHEET NO: 03 JOB NO: 7740

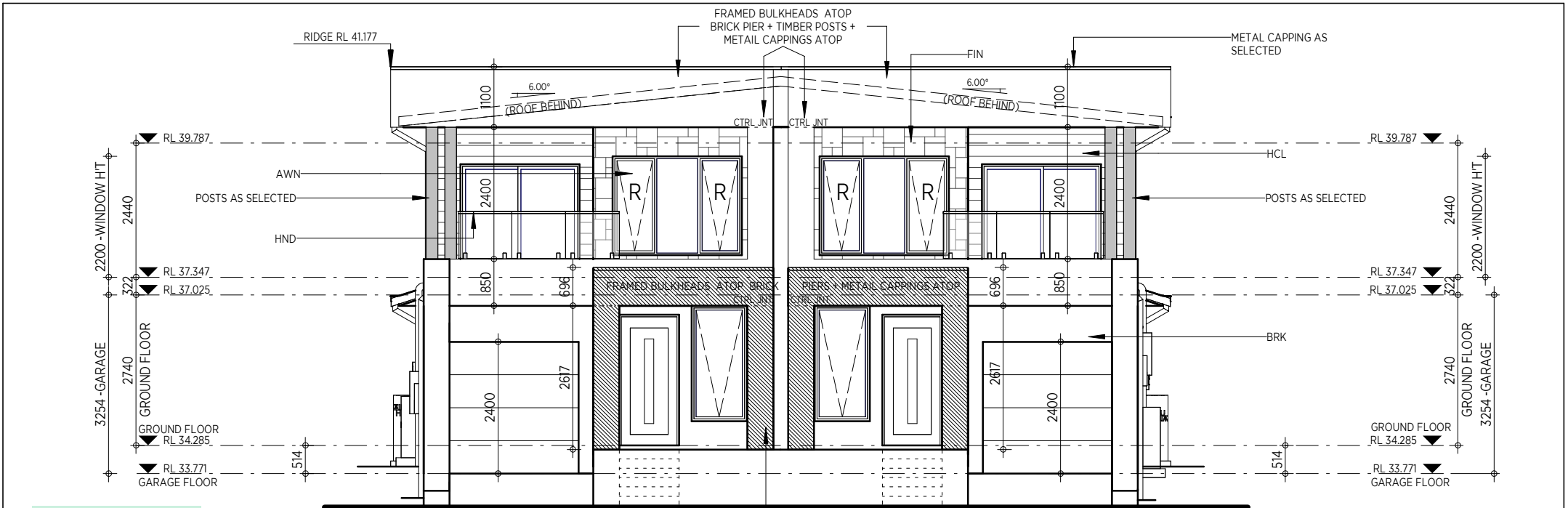
SALES: PHONE: (02) 9629 4772  
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ABN: 12057761378 BLDG.LIC.39371



## FIRST FLOOR

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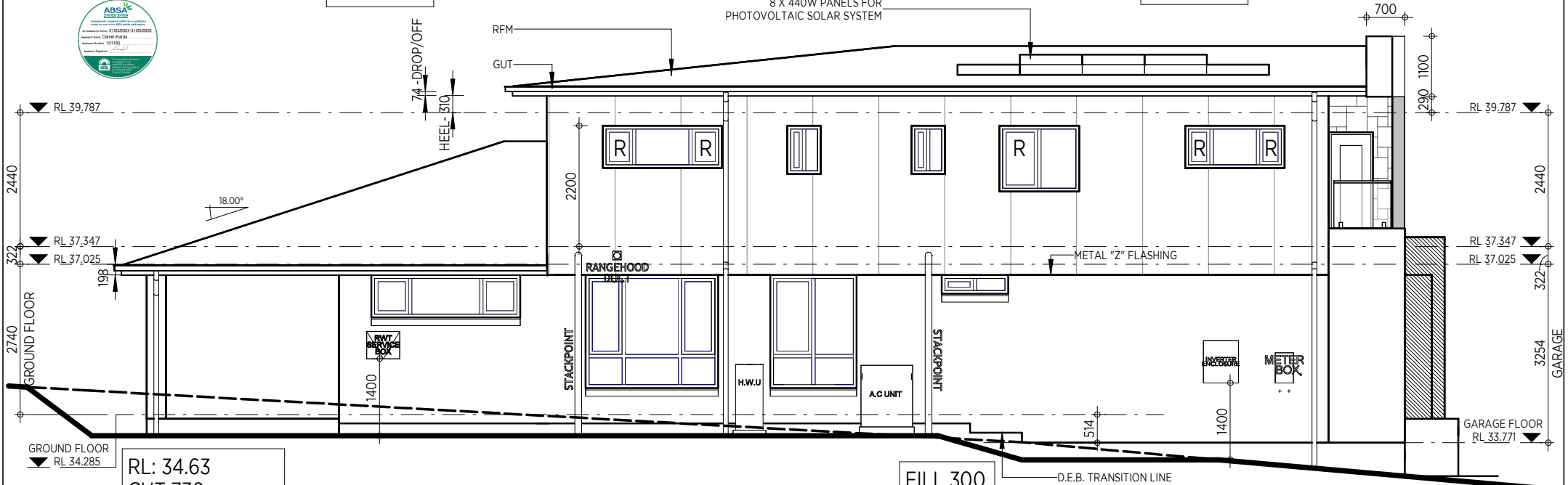
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RL: 33.200  
FILL 261  
DEB-NGL

## NORTH EASTERN ELEVATION

RL: 33.300  
FILL 161  
DEB-NGL



RL: 34.63  
CUT 730  
RETAINING BY OWNER

## SOUTH EASTERN ELEVATION

FILL 300  
RL: 33.60  
CUT 139

RL: 33.200  
FILL 261  
DEB-NGL

- FOR FC CLADDING;**
1. PROVIDE 105mm REVEALS TO THE WINDOWS
  2. CLADDING TO BE FITTED INTO WINDOW FRAMES
  3. PROVIDE 10mm PLASTIC ALCOR TO PERIMETER OF WINDOWS
  4. PROVIDE SARKING WRAP TO FRAME OF CLADDED AREAS
  5. PROVIDE 67mm x 18mm TIMBER ALONG FLASHINGS
  6. PROVIDE 13mm x 18mm TIMBER TO PERIMETER OF WINDOWS (FOR DURASHEET ONLY)

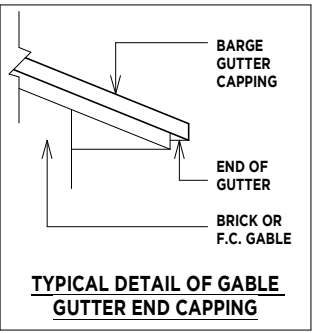
Key Value	Keynote Text
AWN	ALUMINIUM WINDOWS AS SELECTED
BRK	BRICKWORK AS SELECTED
CLD	CLADDING W/ JOINTINGS AS SELECTED
FIN	FEATURE FINISH AS SELECTED
GUT	GUTTER + FASCIA AS SELECTED
HCL	HORIZONTAL CLADDING AS SELECTED
HND	HANDRAIL AS SELECTED
RFM	METAL ROOF AS SELECTED
RND	ARMAWALL RENDER (HATCHED) AS SELECTED

**PROVIDE 300MM FLOOR JOISTS**

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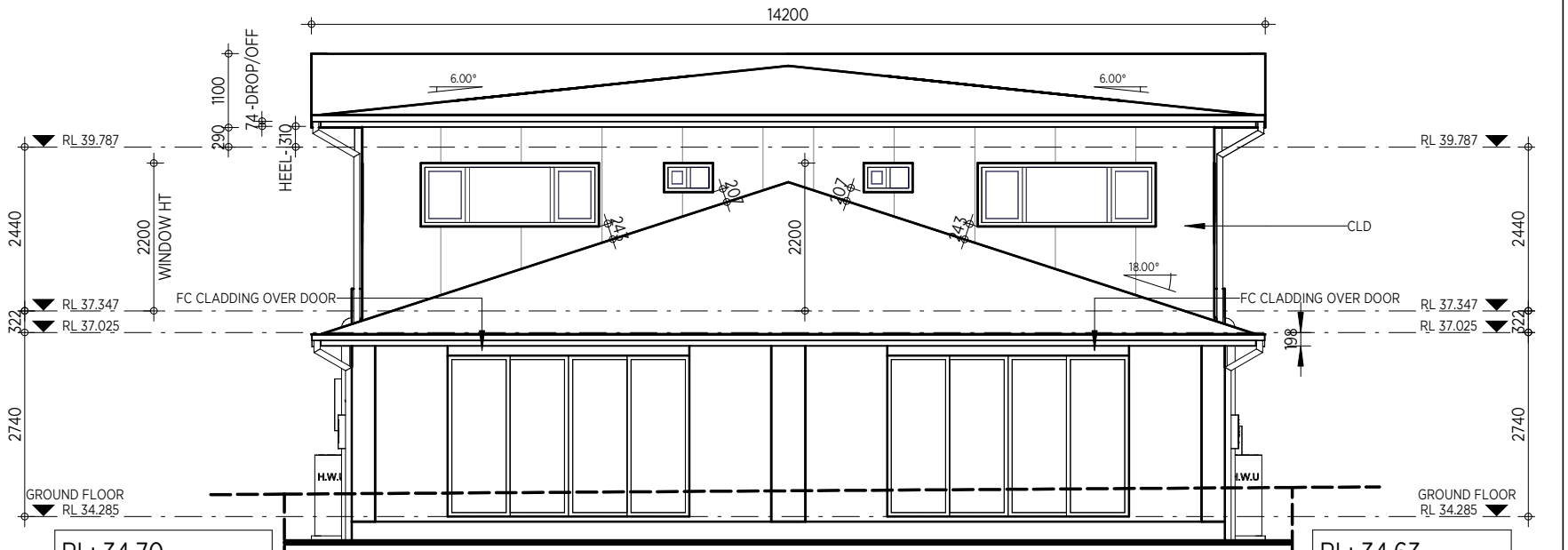
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RL: 34.70  
CUT 800  
RETAINING BY OWNER

## SOUTH WESTERN ELEVATION

RL: 34.63  
CUT 730  
RETAINING BY OWNER

## ELEVATIONS

DATE	ISSUE	REVISION
12.03.25	PR	C (T04)
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21.01.25		A (T03)
	DA SUBMISSION	PP AMENDMENTS
		FIRST DRAW

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<b>PROPOSED RESIDENCE</b>	<b>RUTHERGLEN MKII DUPLEX</b> MODIFIED STELLA NEW HOME FAÇADE
FOR: Mr. F HAGEALI	DATE: 21.01.25 SCALE: 1:100 DRAWN: DI CHECKED: SHEET NO: 04 JOB NO: 7740
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	

**SALES:** PHONE: (02) 9629 4772  
FAX: (02) 9629 5813  
**HEAD OFFICE:** 96-100 TOONGABBIE ROAD,  
GIRRAWEE NSW 2145  
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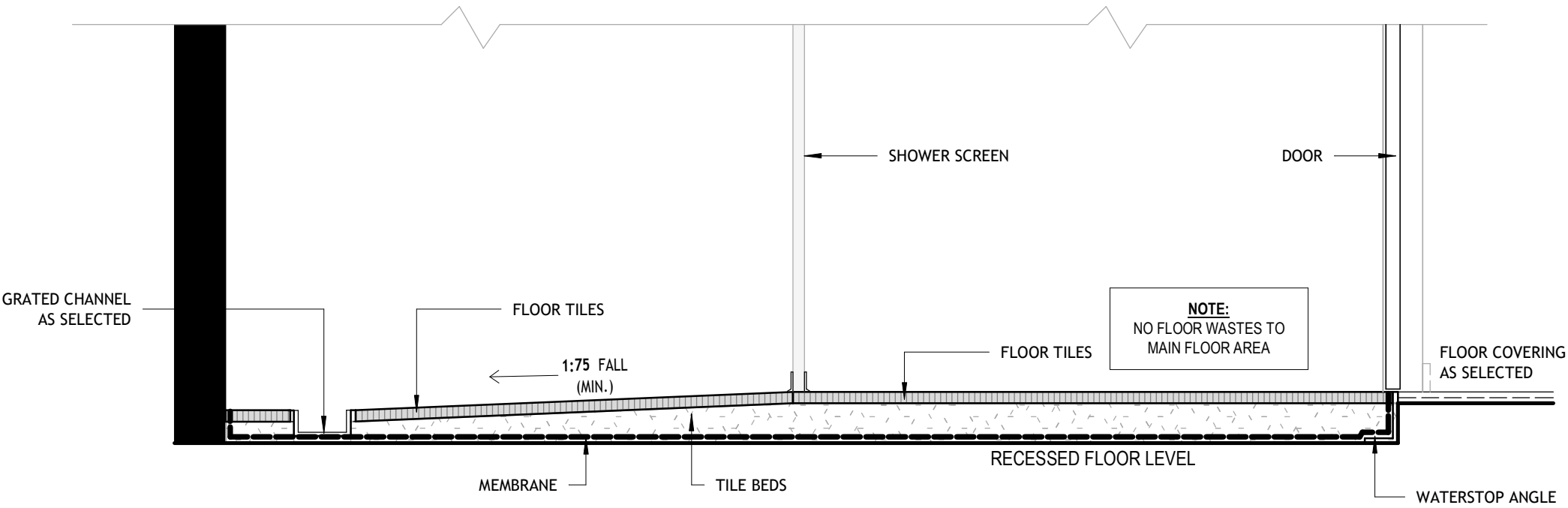
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OWNER OWNER DATE

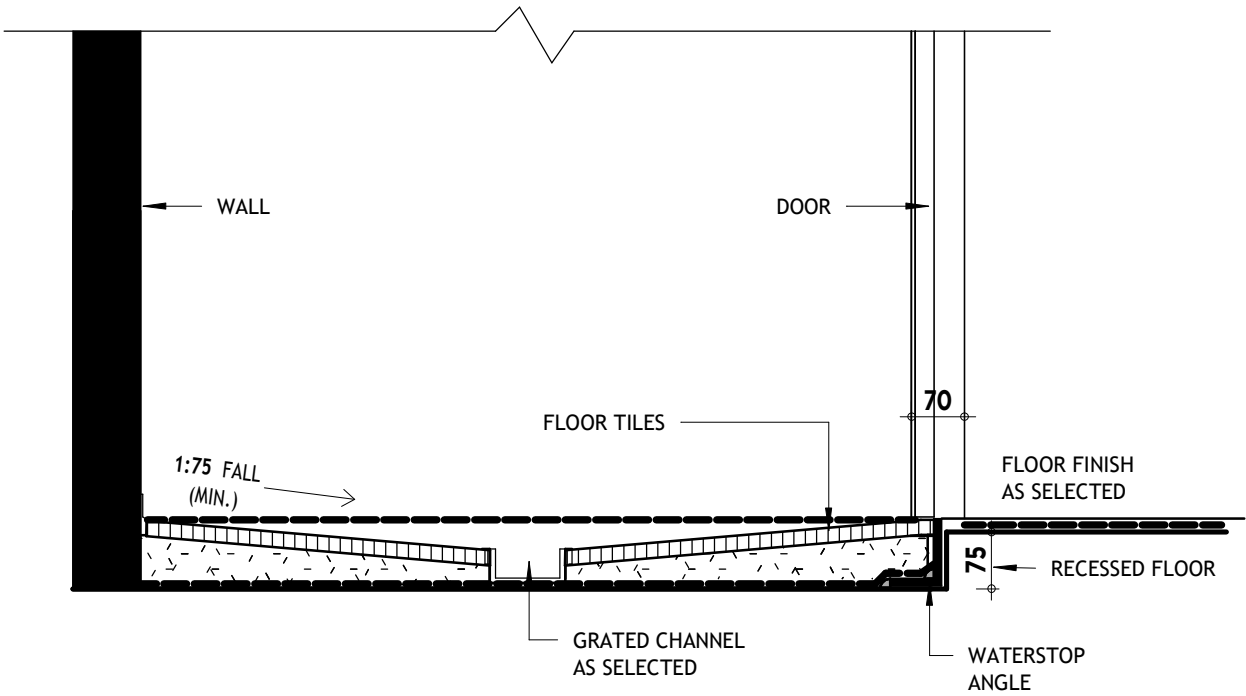








SHOWER FLOOR RECESS DETAIL



LAUNDRY FLOOR DETAIL



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FOR: Mr. F HAGEALI	DATE: 21.01.25	SCALE: 1:10
	DRAWN: DI	CHECKED
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SHEET NO: 05.1	JOB NO: 7740

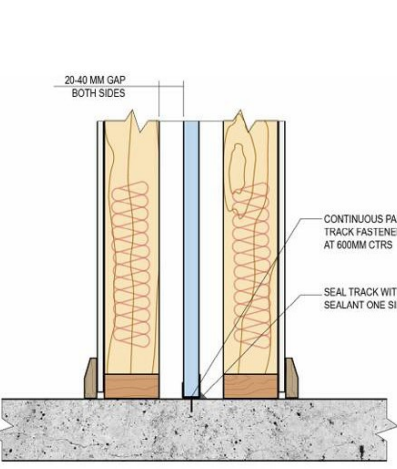
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Figure 9: Concrete Slab Base



**Note** The base track of the SHAFTLINER MOULDSTOP fire barrier must be fixed with approved concrete fasteners spaced at 600mm max ctrs. Plastic-sleeved fasteners are not permitted.

Figure 11: Step in Slab - Parallel 1

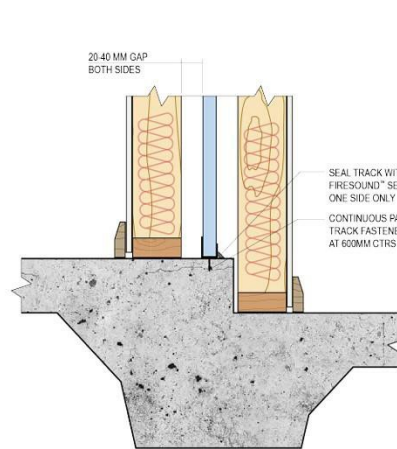


Figure 10: Masonry Base

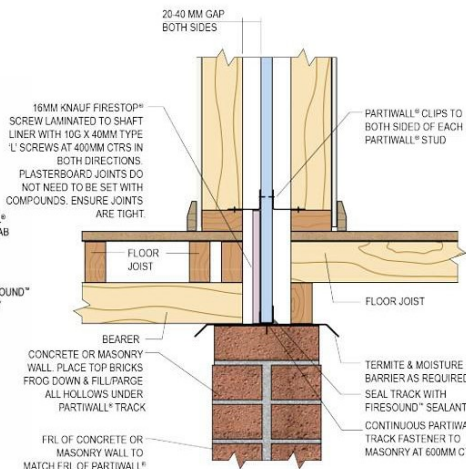


Figure 12: Step in Slab - Parallel 2

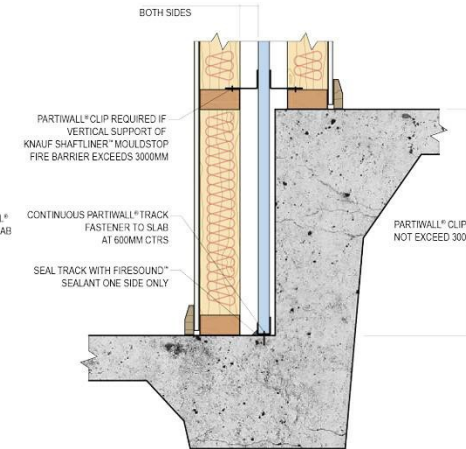


Figure 13: Step in Slab - Perpendicular

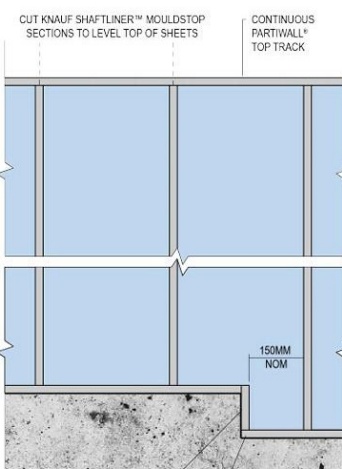


Figure 15: Pitched Roof Junction

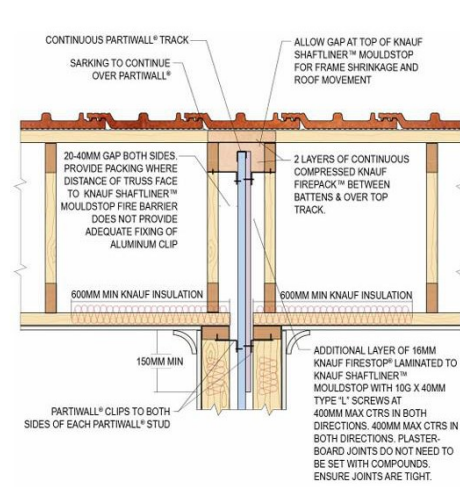


Figure 14: Floor/Wall Junction

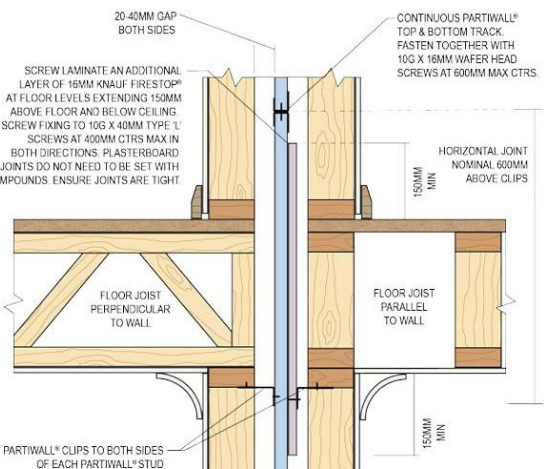


Figure 16: Parapet Roof Junction

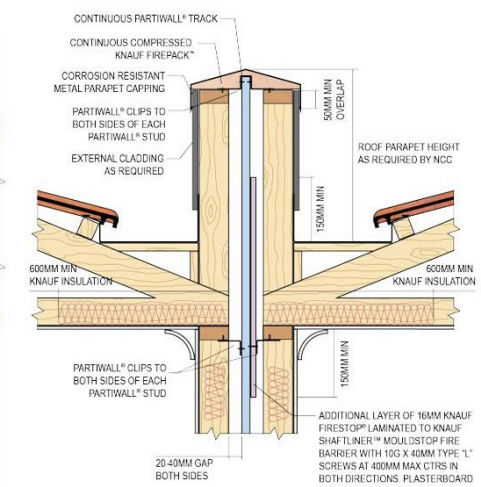
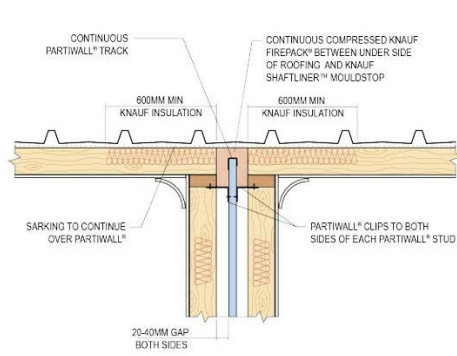


Figure 17: Flat Metal Roof



**Note** • Ceiling insulation must extend min 600mm both sides of the PARTIWALL and must satisfy thermal requirements.  
• If no thermal insulation is required use insulation specified for PARTIWALL system.

Figure 18: Roof Box Gutter

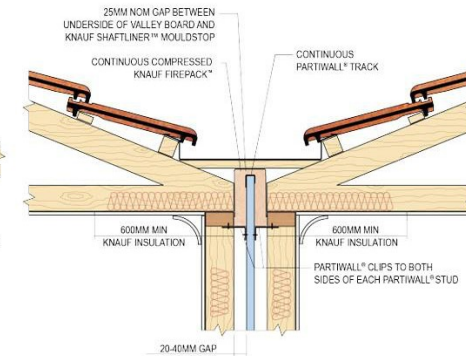
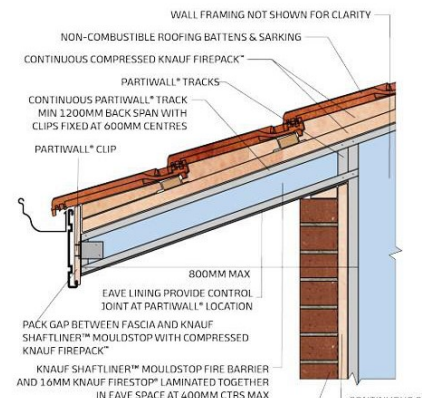


Figure 21: Rafter Closure - Section View



**Note** • Laminated 16mm FIRESTOP not shown for clarity.  
• Wall framing not shown for clarity.

Figure 22: Eave Closure - Section View

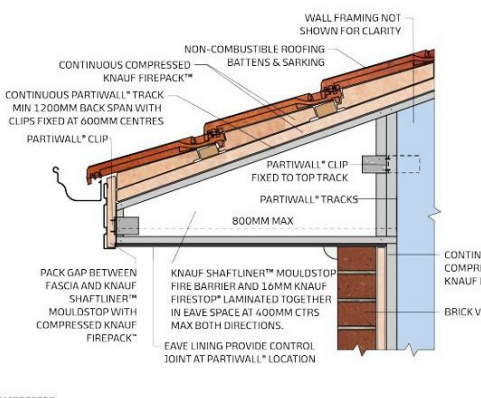


Figure 19: Staggered Metal Roof

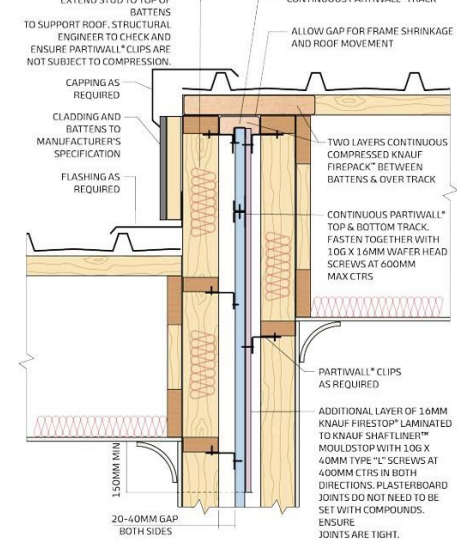
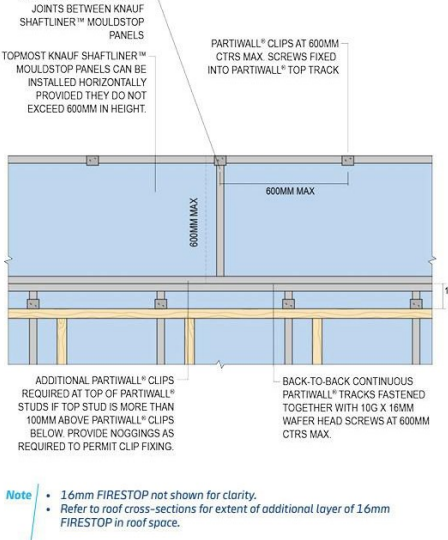
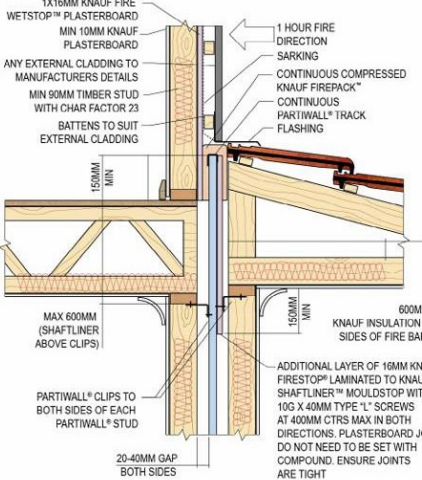


Figure 20: Horizontal SHAFTLINER MOULDSTOP Under Roof



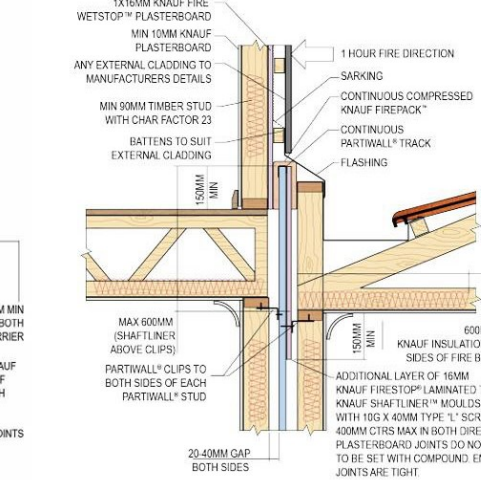
**Note** • 16mm FIRESTOP not shown for clarity.  
• Refer to roof cross-sections for extent of additional layer of 16mm FIRESTOP in roof space.

Figure 23: OUTRWALL Vertical Transition - Any Cladding



**Note** • For Outwall details refer to Knauf.  
• Project Engineer to refer to Knauf for OUTRWALL timber framing Charfactor design.

Figure 24: OUTRWALL Vertical Transition - Any Cladding



OWN

I/WE HERETO BE BUILT

I/WE HAVE HAD THEM E AND APPRC SETBACKS / ON THE PLA I/WE ACCF

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

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PROPOSED RESIDENCE	RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FAÇADE
FOR: Mr. F HAGEALI	DATE: 21.01.25 DRAWN: DI SHEET NO: 05.2
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	JOB NO: 7740

SALES: PHONE: (02) 9629 4772  
FAX: (02) 9629 5813  
HEAD OFFICE: 96-100 TOONGABBIE ROAD,  
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Figure 25: Typical Corner – Plan View

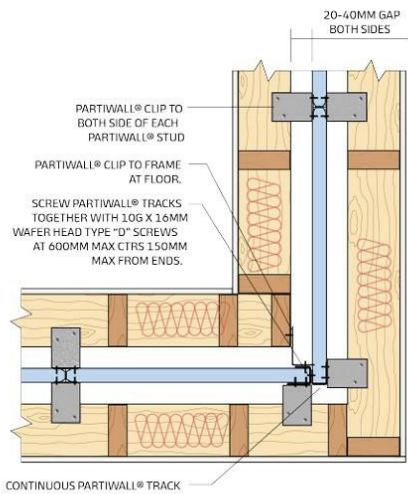


Figure 26: Internal Wall Junction – Plan View

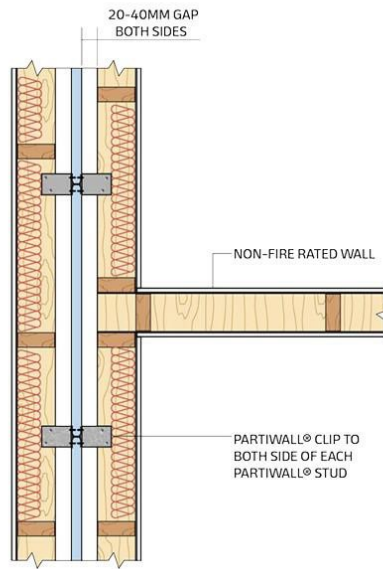


Figure 27: 4 Way Intersecting Wall – Plan View

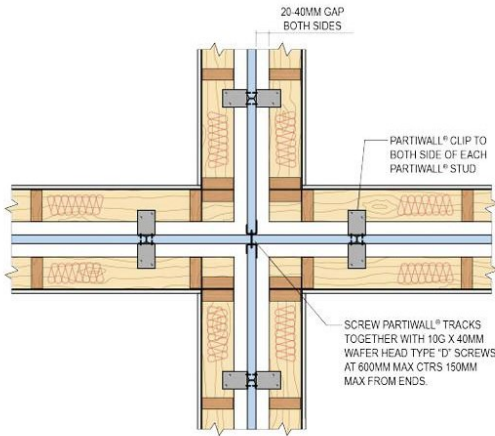


Figure 28: Adjacent Stairwell – Section View

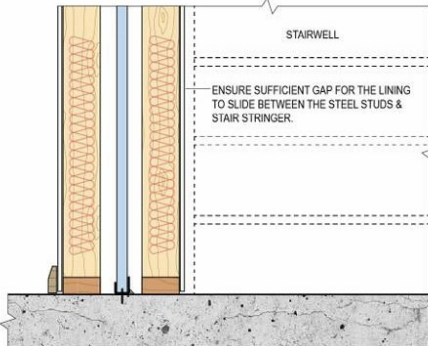


Figure 31: Clad Wall Junction – Plan View

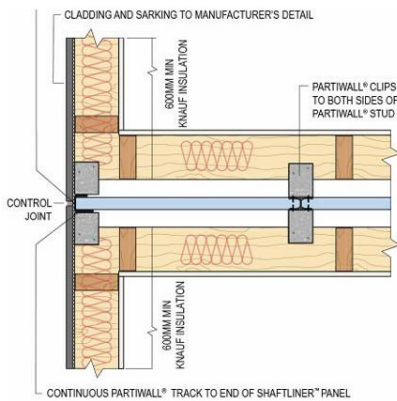


Figure 32: Clad Wall Junction with Thermal Break – Plan View

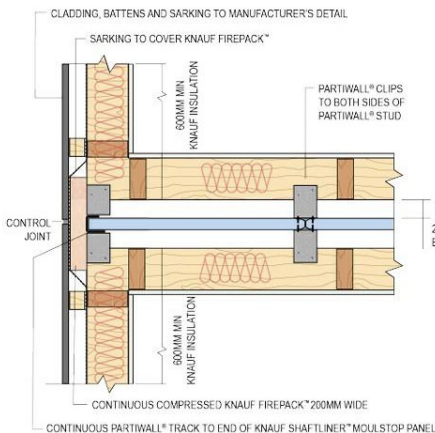


Figure 33: Brick Veneer Wall Junction 1 – Plan View

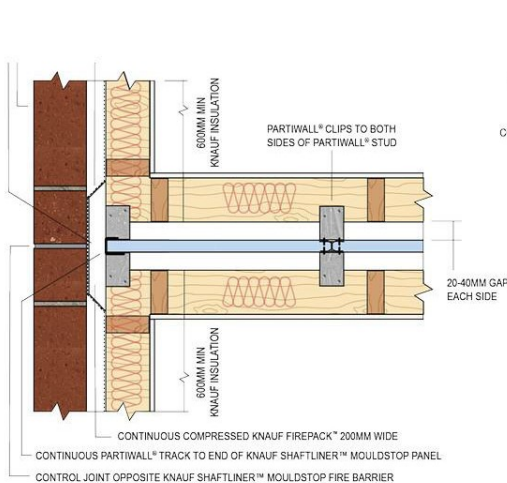


Figure 34: Brick Veneer Wall Junction 2 – Plan view

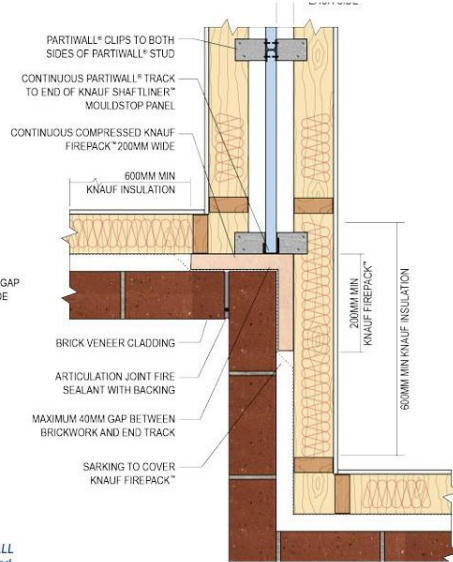
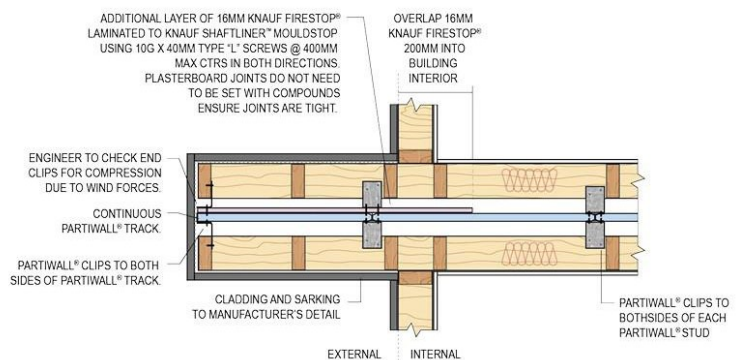


Figure 29: External to Internal PARTIWALL – Plan View



Note Aluminium flat clips can also be used to clip the PARTIWALL end.

Figure 30: OUTRWALL Horizontal Transition – Any Cladding

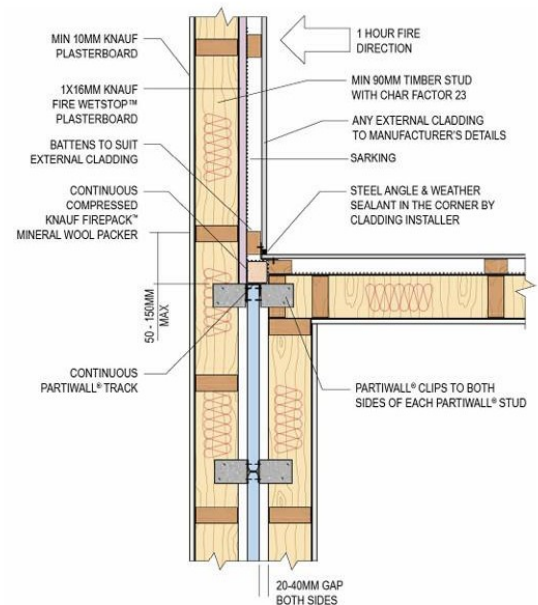
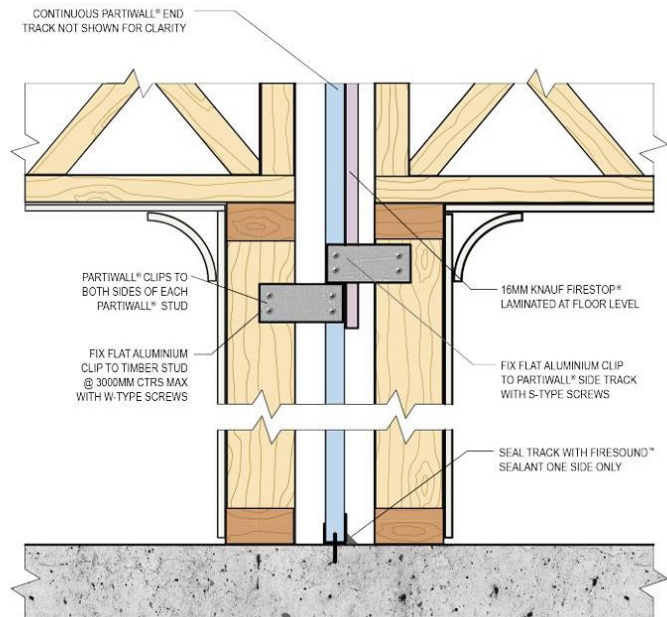
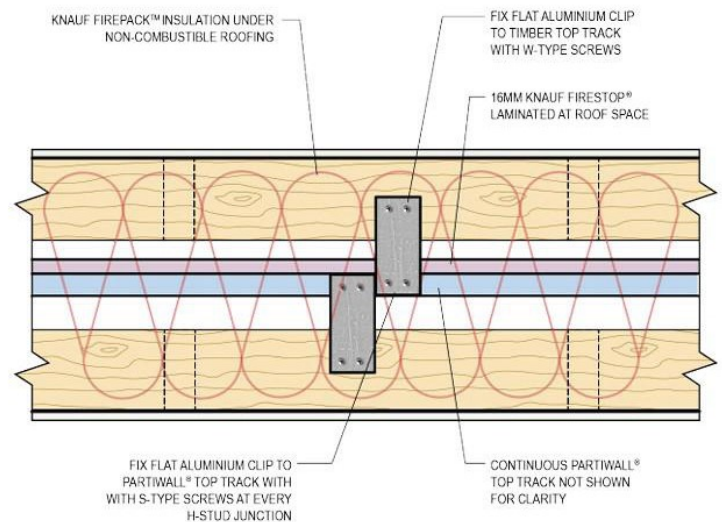


Figure 35: Flat Aluminium Clip Detail

End track



Top track



Note

- PARTIWALL flat clips can be used around the perimeter of the fire barrier, spaced at max 3000mm vertically on side tracks and 600mm horizontally on top track.
- PARTIWALL angled clips cannot be flattened and used as flat clips.

Note

- Figures 31, 32, 33 and 34
- External insulation must extend min 600mm both sides of the PARTIWALL and must satisfy thermal requirements. If no thermal insulation is required use insulation specified for PARTIWALL system.
- Dependent on the framing layout, aluminium flat clips can also be used to clip the PARTIWALL end track.



I/WE HERETO BE BIL  
I/WE HAD THE AND AP  
SETBACK ON THE  
I/WE ACCEPT NO CHANGES CAN BE MADE.  
I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.  
I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.  
I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.  
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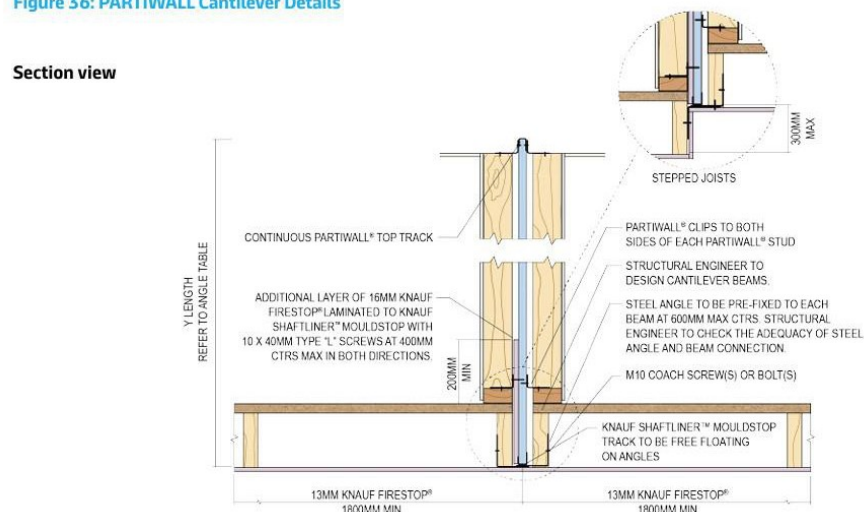
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FOR: Mr. F HAGEALI	DATE: 21.01.25 DRAWN: DI
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SHEET NO: 05.3 JOB NO: 7740

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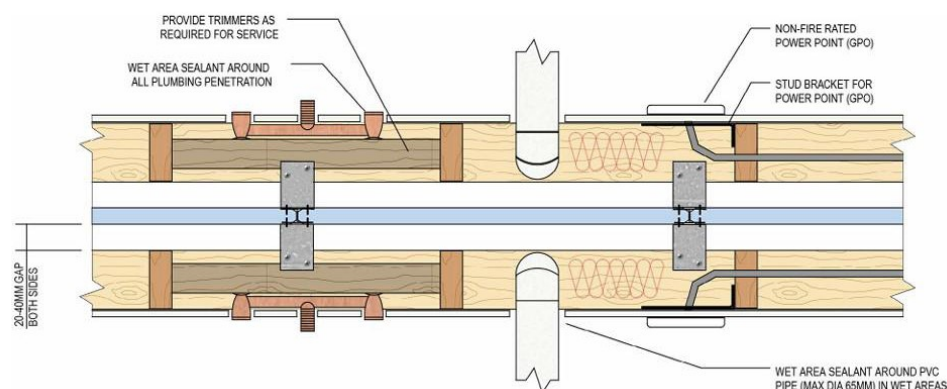
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Figure 36: PARTIWALL Cantilever Details

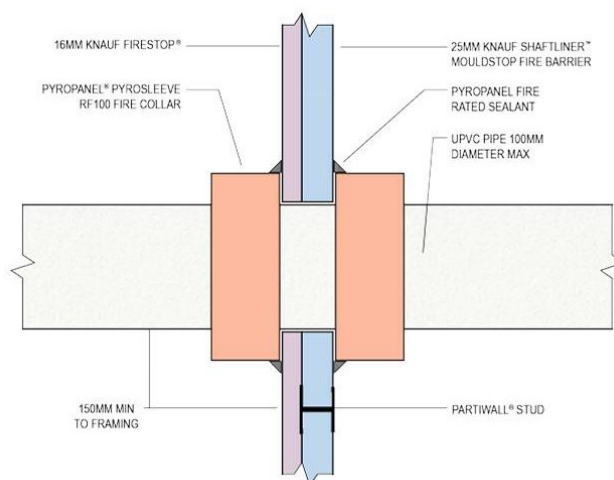


**Figure 37: Back to Back Wall Penetrations – Plan Details – FRL 60/60/60**



- All penetrations can be back-to-back.
- To achieve  $R_w + C_{tr}$  40 services separation insulation is required in the wall cavity on the opposite side of the soil/waste/water supply pipe.

**Figure 38: uPVC Pipe Penetration at Roof Space – FRL -/60/60**



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PROPOSED RESIDENCE

FOR:  
Mr. F HAGEALI

AT:  
LOT 98 (#44) COLIN STREET,  
LAKEMBA

RUTHERGLEN MKII DUPLEX  
MODIFIED STELLA NEW HOME FAÇADE

DATE:	21.01.25
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SHEET NO:

05.4

SCALE:

CHECKED

JOB NO:

7740

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FAX: (02) 9672 7033

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## KNAUF PARTIWALL DETAILS

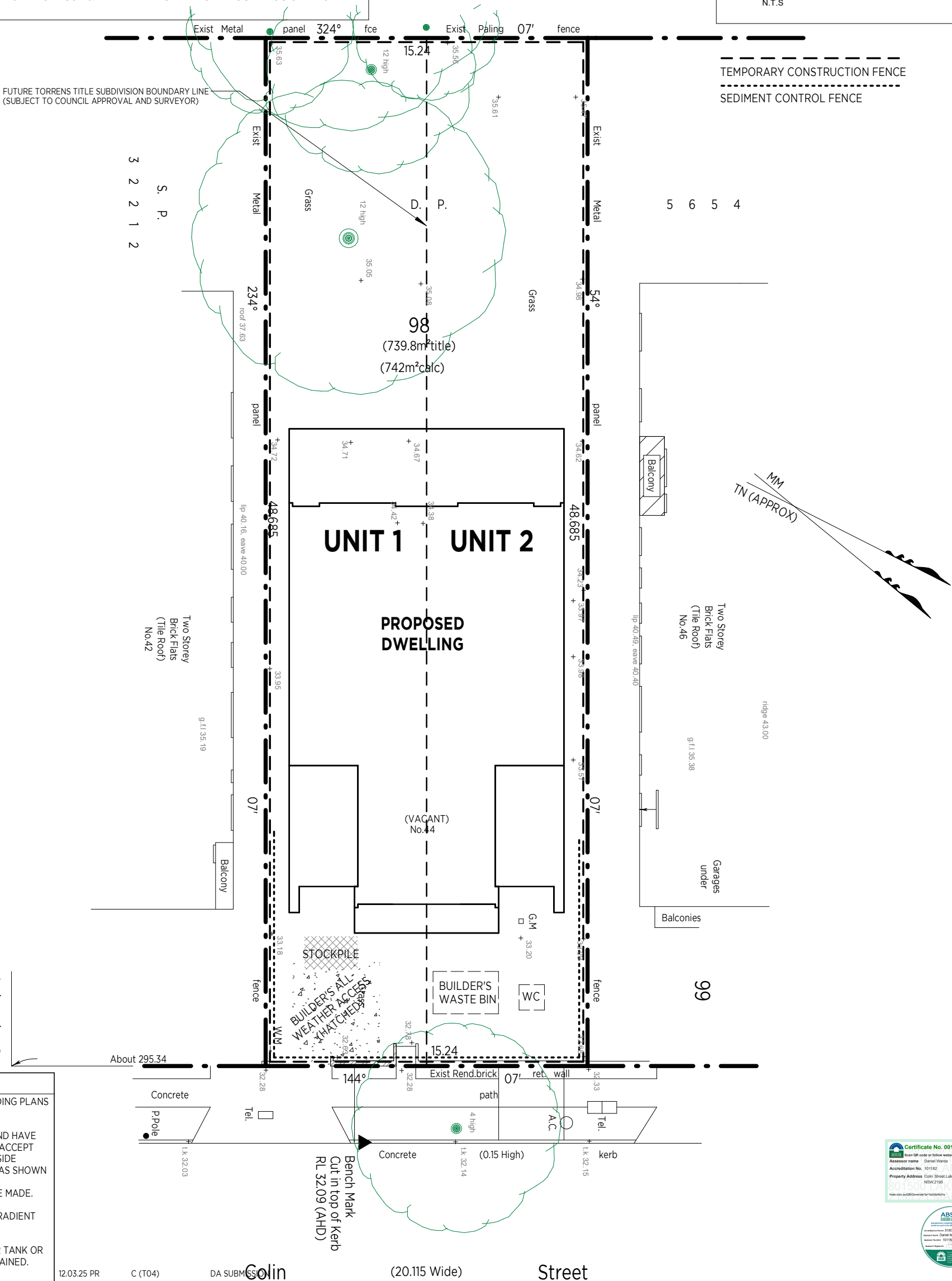
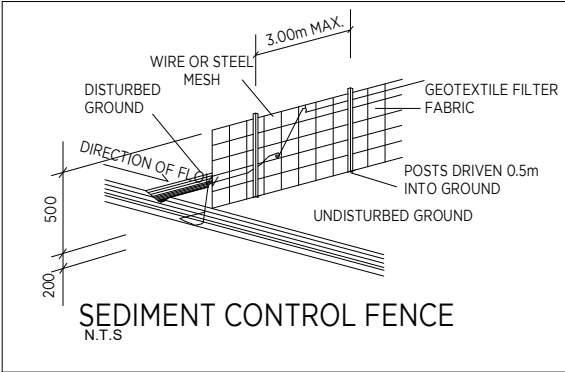


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SEDIMENT NOTE:

1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.  
2. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL ON VEGETATION BUFFER.  
3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.  
4. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.  
5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICLE.  
6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.  
7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP BOGGING.  
8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.



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FOR: Mr. F HAGEALI	DATE: 21.01.25	SCALE: 1 : 200
	DRAWN: DI	CHECKED
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SHEET NO: 10	JOB NO: 7740

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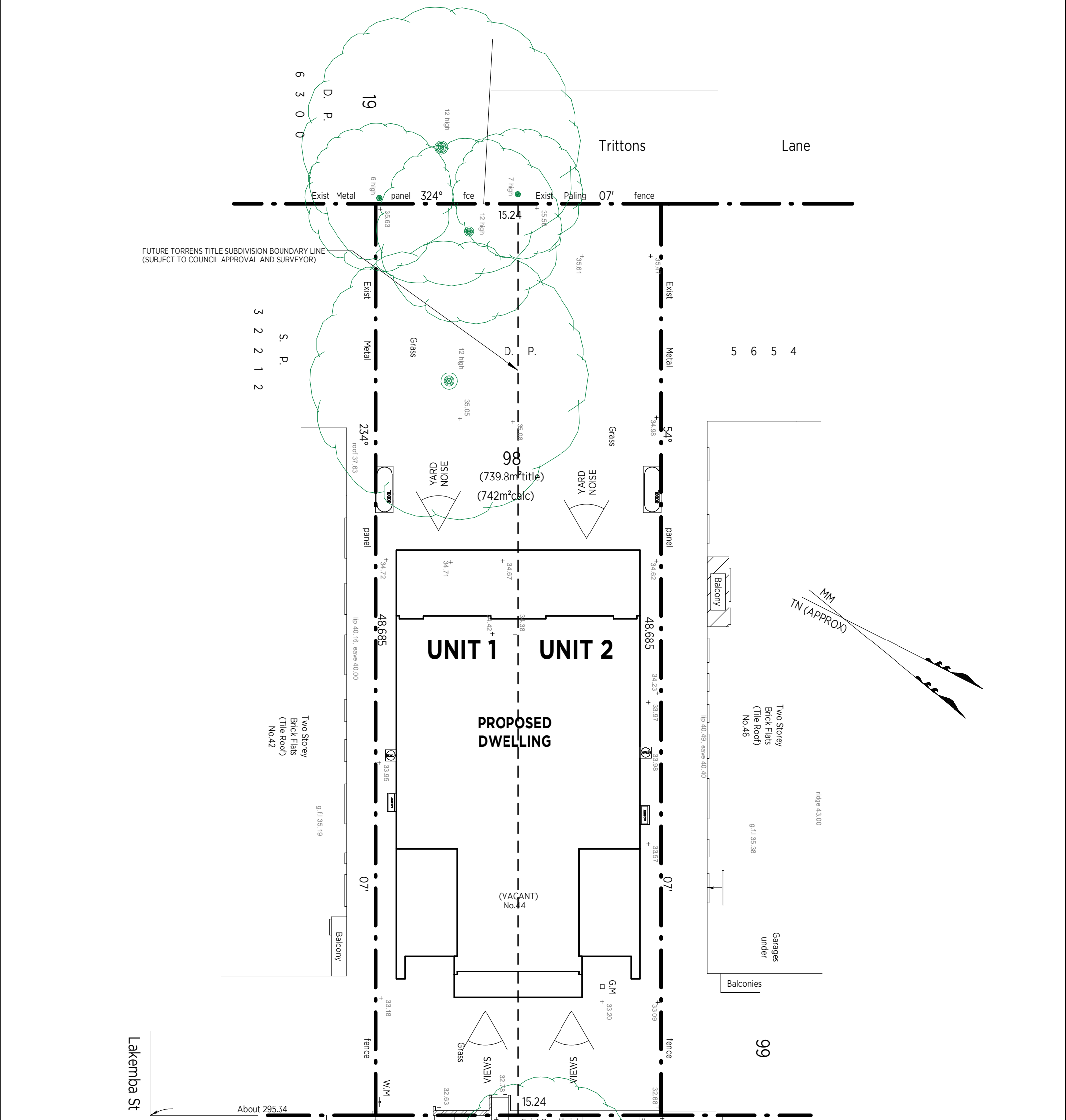
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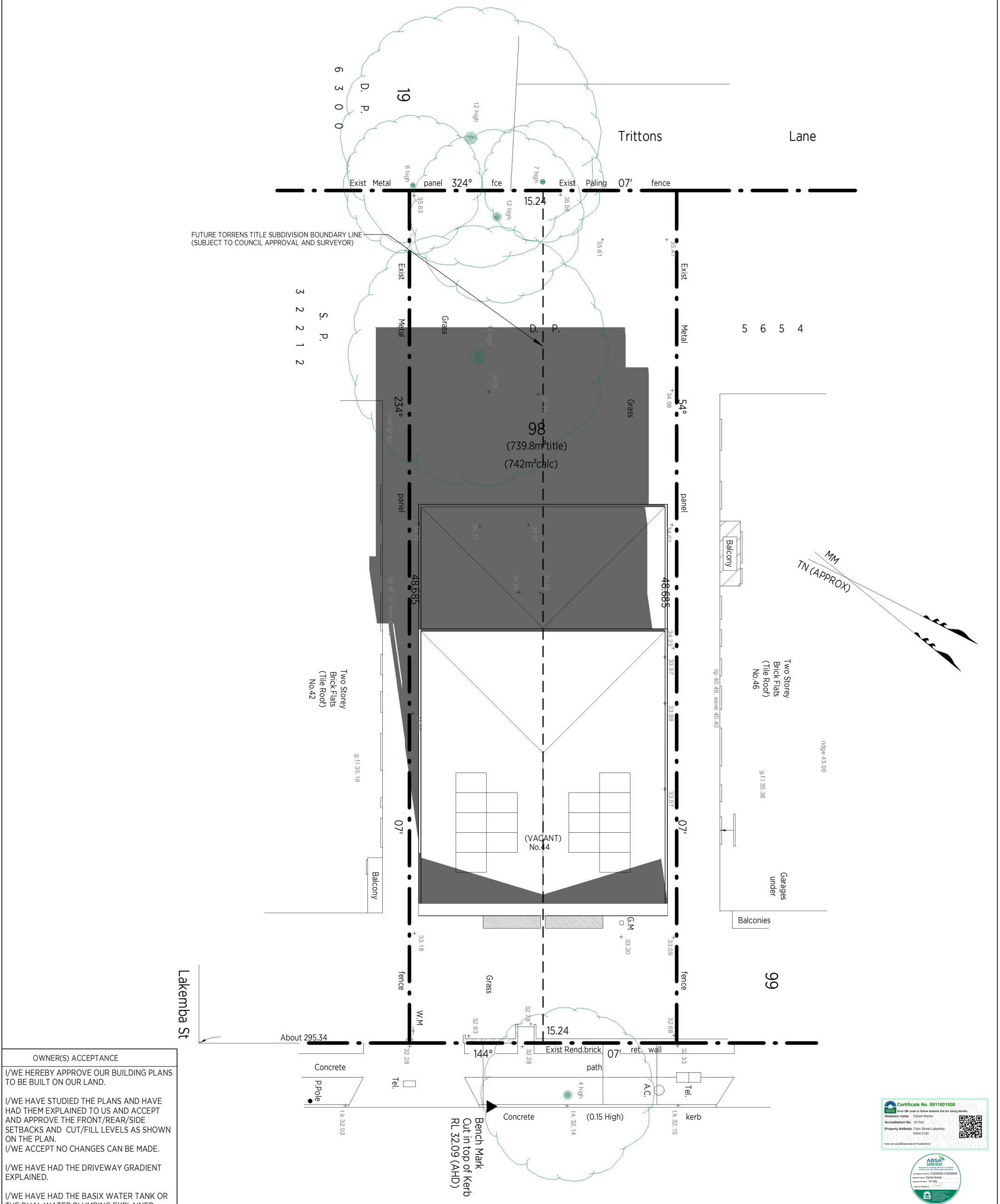
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	DRAWN:	DI
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SHEET NO:	20
	JOB NO:	7740

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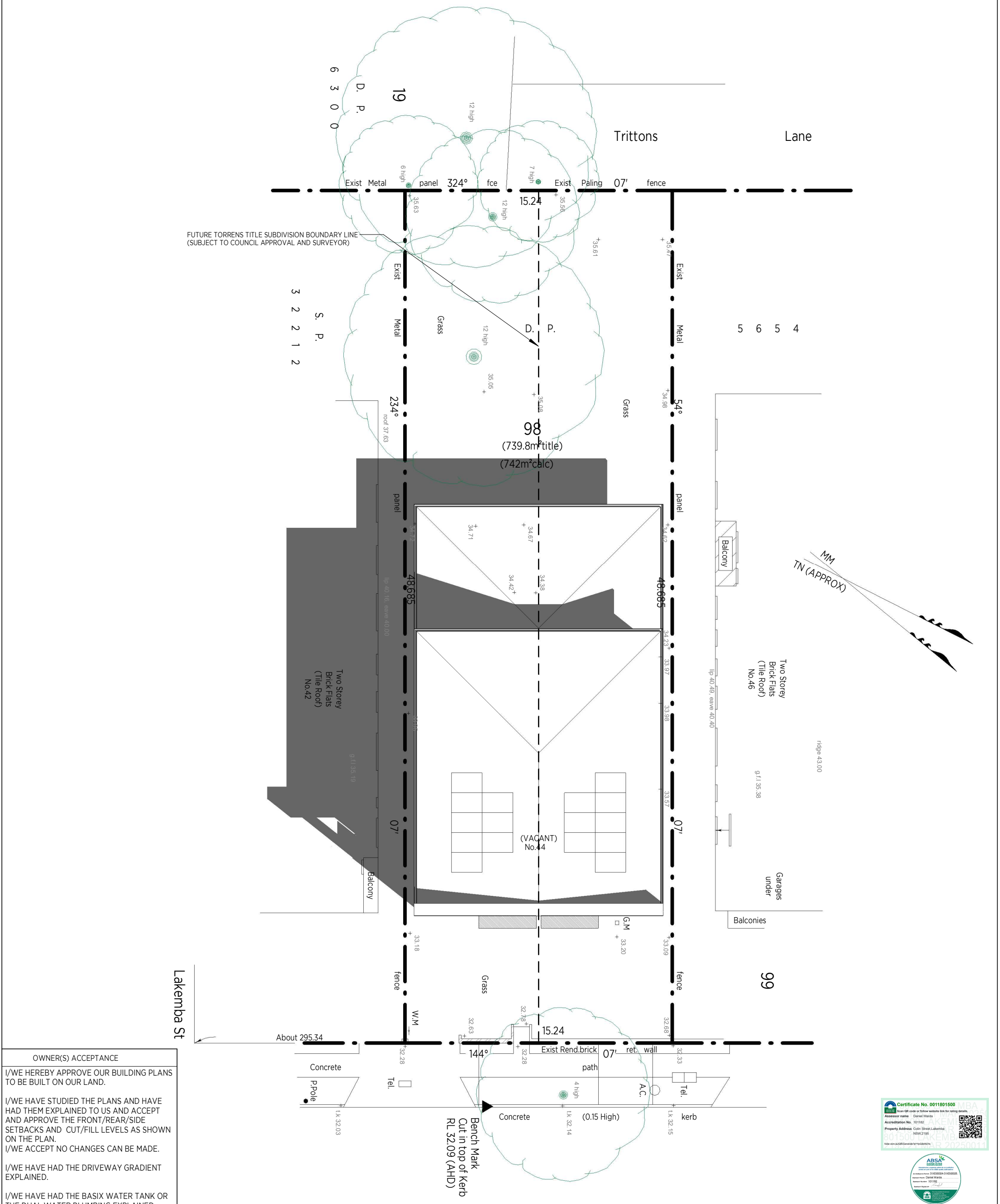
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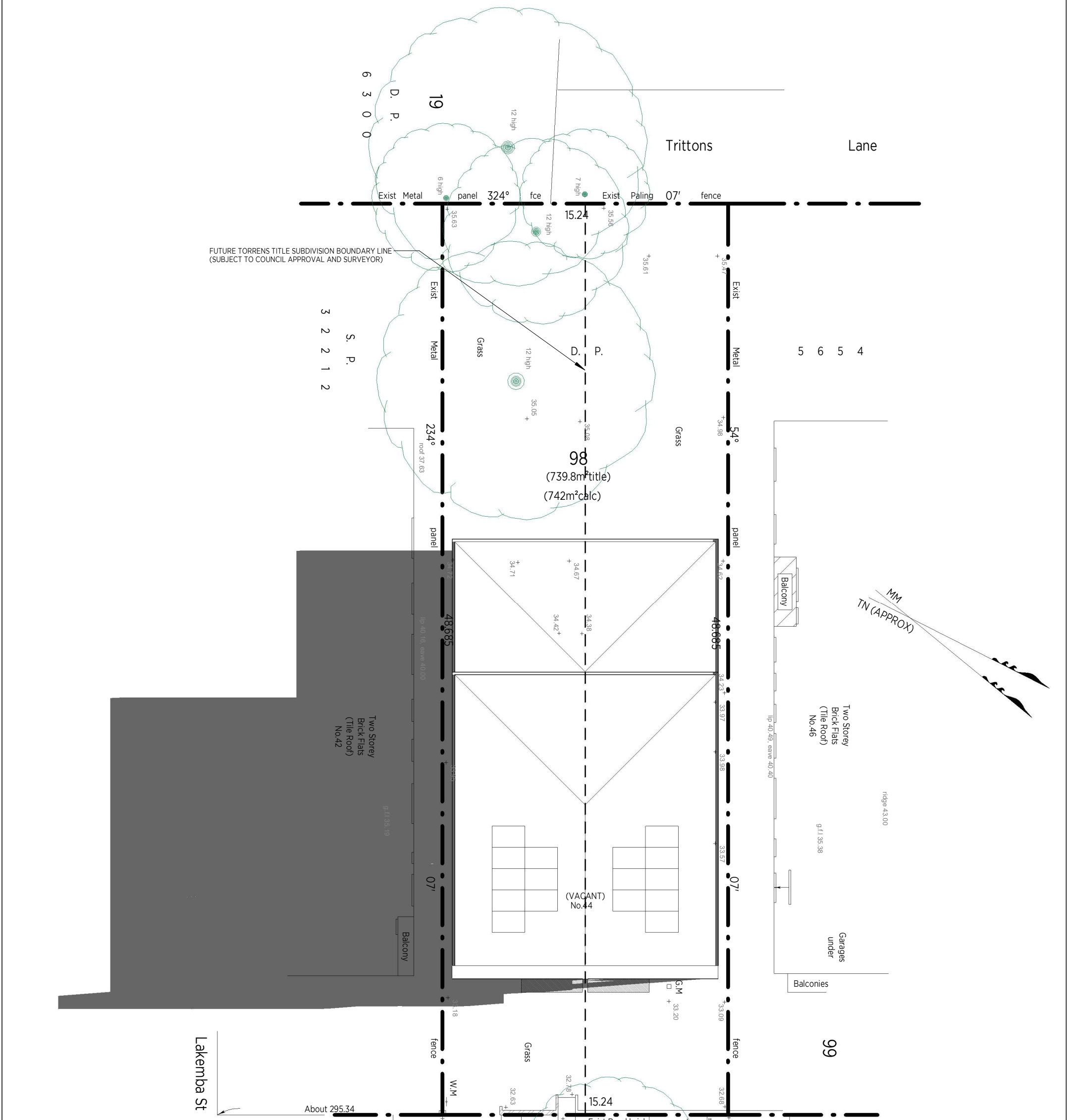
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OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.  
I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE  
I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER

OWNER

DATE

12.03.25 PR 10.02.25 SP 21.01.25	C (T04) B (T04) A (T03)	DA SUBMISSION PP AMENDMENTS FIRST DRAW
DATE	ISSUE	REVISION

NOTE: ALL WORKS TO COMPLY WITH BCA 2022 AND RELEVANT AUSTRALIAN STANDARDS  
- NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.  
- ABN 12057 761 378

ALLCASTLE HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL INCLUSIONS ARE CORRECT.NOTE: WET AREA SYMBOLS ARE STRICTLY SYMBOLIC, OWNERS TO CONFIRM WET AREA ITEMS WITH SELECTIONS.

PROPOSED RESIDENCE	RUTHERGLEN MKII DUPLEX MODIFIED STELLA NEW HOME FACADE	
FOR: Mr. F HAGEALI	DATE: 21.01.25 DRAWN: DI	SCALE: 1 : 200 CHECKED
AT: LOT 98 (#44) COLIN STREET, LAKEMBA	SHEET NO: 21.3	JOB NO: 7740

SALES: PHONE: (02) 9629 4772  
FAX: (02) 9629 5813  
HEAD OFFICE: 96-100 TOONGABBIE ROAD,  
GIRRAWEE NSW 2145  
PHONE: (02) 9672 7055  
FAX: (02) 9672 7033  
ABN: 12057761378 BLDG.LIC.39371

Allcastle Homes

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allcastlehomes.com.au

Scan QR code or follow website link for rating details.  
Assessor name: Daniel Wicks  
Accreditation No.: 111182  
Property Address: Colin Street Lakemba  
NSW 2145  
Valid until: 30/06/2025

ABSA  
Australian Building Standards Association  
Accreditation No.: 111182  
Assessor Name: Daniel Wicks  
Assessor Number: 101182

3pm JUNE 21-SHADOW

